



OWNER DESIGN GUIDELINES FOR ALAMAR

For questions or to submit a Design Review Application, please contact:
Alamar Community Association
Phone: 602-767-7250
alamar@coherelife.com

Design Review Application forms are available online at:
<https://www.alamarresidents.org/design-review/>

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Alamar Community Association Inc.

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CHAPTER 1

INTRODUCTION TO DESIGN REVIEW

WELCOME TO THE NEIGHBORHOOD

Neighborhood means sharing similar feelings about the place you call home. But it doesn't mean everyone has to live in houses that all look the same. Rather than uniformity, Alamar celebrates diversity. The individuality of your home is a vital component of the unique character of the Alamar Community.

Design Review promotes and establishes Community character by ensuring that certain design and architectural principles are followed. These Guidelines, and the information contained within, was compiled to provide you, the Homeowner, with easy access to the applicable Design Review guidelines and procedures. The content of this document is important because it provides both you and the Design Review Committee clear direction and understanding of the expectation of quality for Alamar. It will also assist you in taking advantage of the opportunities your Home and Lot provide while enhancing the overall neighborhood.

To further assist you with the Design Review process, forms are available for download on <https://www.alarmarresidents.org/design-review/>.

To further promote and celebrate the diverse collection of Homes in Alamar we may photograph your Home using the following guidelines.

Each Person acquiring title to a Lot, by the acceptance of a deed or other instrument evidencing such title, hereby consents to having the exterior of any residence constructed on such Lots photographed. Such photographs may be used by Declarant in advertising and marketing materials and also may be used to demonstrate design guideline principals applicable to structures constructed at the Development. All such photographs and all such uses shall be at no cost to such Lot Owner and such Lot Owner shall allow such uses free of charge and without compensation to such Lot Owner. All uses shall be implemented in a professional and tasteful, first-class manner. Each photography session, if any, shall be conducted at a mutually convenient time and date as agreed between the Lot Owner and Declarant. The photography crew shall have the right to enter onto the Lot on the day of the photography session to conduct its works. Any damage caused by such crew shall be the responsibility of Declarant who shall promptly cause any such damage to be repaired, entirely at its costs, and with minimal inconvenience to the Lot Owner.

We hope you will find the following information to be both helpful and clear in its intent. Most of all, we hope you will enjoy personalizing your home.

CHAPTER 1 THE VISION

Home...

Neighborhood...

Community...

Alamar is a master planned Community within the City of Avondale. With stylish homes and classic detailing, this community has a distinctive living environment for its residents through comprehensive neighborhood, architectural and landscape design focused on 'creating community.' A series of compact, well-organized, pedestrian oriented neighborhoods are linked together through a comprehensive system of great streets, open spaces, shaded walks and trails. With each enclave having a diversity of homes and open spaces, Alamar is envisioned to be a community of distinct places that encourage citizenship, friendliness and helpfulness among its residents.

OWNER DESIGN GUIDING PRINCIPLES

Objective One - Design will support the community lifestyle vision

- ❖ Create a sense of place
- ❖ Emphasize the natural characteristics of the property and region
- ❖ Emphasize near town location
- ❖ Use appropriate colors and materials
- ❖ Use style-appropriate massing and forms
- ❖ Emphasize variety of styles
- ❖ Blend regional adaptations
- ❖ Blend indoor and outdoor spaces

Objective Two - Design will emphasize the hierarchy and importance of the Community image and identity

- ❖ Buildings should create space and define the character of areas
- ❖ Buildings should relate strongly to the public realm – the street
- ❖ Embrace variety and diversity within the context of the overall theme

Objective Three - Design will contribute to the Community and neighborhood character

- ❖ Reference historical or distinct architectural styles and building types
- ❖ Appear as though it was built over time
- ❖ Emphasize appropriate design styles
- ❖ Be responsive to its location within Alamar and adjacent influences
- ❖ Emphasize simple building forms and authentic detailing, rich colors and materials

Objective Four - Design will emphasize the "Simple Home" concept

- ❖ Focus on authenticity of all building materials
- ❖ Emphasize human scale proportions of all building elements and details

CHAPTER 1

DOES MY ADDITION, MODIFICATION OR IMPROVEMENT REQUIRE DESIGN REVIEW?

To use these guidelines for personalizing your home, ask yourself:

1. Does my addition, modification or improvement require design review approval?

The answer is no if:

- ❖ The addition, modification or improvement is entirely screened from public view and all adjacent lots. Please refer to the chapter of the Owner Design Guidelines for your specific improvement to understand the stipulations and requirements for additions, modifications or improvements that are entirely screened from public view and all adjacent lots.
- ❖ You plan only to repaint the exterior of structures on any home using the most recently approved color scheme
- ❖ You plan only to rebuild or restore any damaged structures on a home in a manner consistent with the plans and specifications most recently approved for such structures

Generally, no approval is required for work done to the interior of a structure; however, addition, modification or improvement to the interior of screened porches, patios, and any other portions of a home visible from outside a structure may require prior approval.

The answer is yes if:

- ❖ Any portion of the addition, modification or improvement is visible from the street, adjacent lot or a Community open space
- ❖ Any portion of the addition, modification or improvement is visible through a view fence, screened enclosure or gate
- ❖ The plan requires a change to the structure of the home
- ❖ The plan requires a city or other governmental permit

2. What are the possibilities, requirements and limitations of what I want to do?

These items are covered in detail in Chapter 3. Many plans for additions, modifications or improvements will involve several topics. For example, you may need to review the conditions for fountains, security doors, potted plants, paving, walls, gates, furniture and approved plants to create a courtyard.

3. How do I design what I want to do in a way that complements the style of my Home?

These guidelines provide information about several of the architectural styles in Chapter 2.

4. How and what do I submit?

The Design Review Application and submittal process and requirements are available at: <https://liveatalamar.com/community-governance/>

CHAPTER 2

IMPORTANCE OF STYLE

Arizona has a rich legacy of early agriculturally based communities that have fostered a variety of architectural styles. In these early communities, architectural styles were often imported from the mid-west and east coast in the form of pattern books from which the builders chose the style and massing of their building. Steeped in the climate of the Arizona desert, styles were often modified to meet the specific climatic influences. Colors were light and materials were a blend of plaster, stucco and siding.

There are many approved architectural styles for the Alamar neighborhoods including: Spanish Colonial, Territorial Ranch, Craftsman/Bungalow, and Traditional Southwest. These architectural styles are appropriate to the region and were developed to address the needs and lifestyles of the residents as well as support the Community theme as a traditional Community development.

The Alamar design/development team seeks to embrace diversity in architectural style and design, which is drawn from a rich context of neighboring community architecture. In keeping with the overall community theme, the homes will be of high quality and contribute positively to the character of the immediate and surrounding community. Overall, the design concept is to blend the chosen distinct and traditional architectural styles of early agriculturally based communities with the environmental responsiveness of Alamar.

Landscape as well as architecture can express the style of the Home. Some styles are more formal and can be accented by formal landscape and hardscape designs. Some styles grow out of natural environments and are at home in more naturalized landscapes. The following pages describe and demonstrate various style-specific landscape designs.

CHAPTER 3

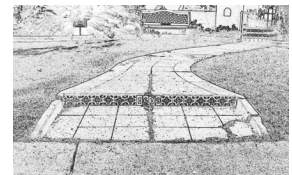
POSSIBILITIES, REQUIREMENTS AND LIMITATIONS

Lot and home design should include the following major considerations for modifications and additions to the home, landscape, and improvements:

- ❖ Guest arrival
- ❖ Building setbacks
- ❖ Privacy and landscape wall locations
- ❖ Development of outdoor rooms, including enclosed patios and courtyards
- ❖ Position of pools and other structures
- ❖ Lot drainage
- ❖ Location and screening of refuse enclosures, utilities, and mechanical equipment

ADDRESS MARKERS

- ❖ Each Homeowner is required to provide address identification. These address numbers should be clear and easy to read.
- ❖ The address numbers on the house may be made of a variety of materials including but not limited to wood, metal, paint and tiles.
- ❖ Address numbers may not exceed eight (8) inches in height and should be of a simple font style that complements the style of the Home.
- ❖ Address identification may not be placed on freestanding signs.
- ❖ One (1) set of address numbers per Lot is encouraged to be illuminated at night.



ANTENNAS AND SATELLITE DISHES

To control the visual clutter of non-architectural elements attached to the exterior of the building, the following requirements should be met regarding antennas and satellite dishes:

- ❖ Unless otherwise permitted by law, antennas, satellite dishes and other apparatus for the transmission, reception, or communication of television, radio or other signals shall be discretely located in the least visible location to help control the visual clutter of non-architectural elements attached to the exterior of the home.
- ❖ No satellite dish over forty (40) inches in diameter will be allowed unless otherwise permitted by law.
- ❖ Unless otherwise permitted by law, trees, shrubs and walls shall be placed to further screen the view of antennas and satellite dishes
- ❖ Unless otherwise permitted by law, antennas and satellite dishes are not permitted in front of the front face of the Home
- ❖ See Community Charter for Alamar Exhibit C, Section 13 for additional criteria.

ART, ARTWORK, SCULPTURE AND ORNAMENTATION (EXTERIOR)

Outdoor art that is visible from public areas or adjacent Lots requires DRC approval. Art that is fully screened from Public View and the view of Adjacent Lots does not require DRC approval. The DRC reserves the right to

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not permit artwork that it deems inappropriate for any of the following reasons: subject matter, height, color, size, materials, reflectivity, prominence, visual impact and/or location.

- ❖ Outdoor art should not overpower the architecture of the Home and should generally be limited to nine (9) feet in height
- ❖ Artwork should be placed to complement the welcoming and inviting nature of the Home as viewed not only from interior private spaces but also as viewed from exterior public spaces
- ❖ The artwork shall be constructed of materials that do not cause a nuisance to adjacent property Owners or users of adjacent public spaces
- ❖ It is anticipated that artwork would be accented with lighting at night. Such lighting must be approved by the DRC and must comply with the outdoor lighting section of these guidelines

BOULDERS

In keeping with the character of Alamar, traditional neighborhoods rarely had boulders or rock features as part of the landscape palette. The use of boulders or other rock features in a front Yard may be approved, subject to the following criteria:

- ❖ Boulders must be “surface select” granite boulders
- ❖ If significant scarring of the boulder surface is present, the boulders should be placed to hide scarring or treated with a man-made desert varnish product such as Ebonite or Permeon
- ❖ Boulders shall be installed in a natural appearing manner. Boulders must be buried approximately 1/3 below grade. Boulders must be integrated within the landscape including other boulders, berming or landscape materials such as plants, decomposed granite and contouring. Boulders may not be stacked
- ❖ Boulders shall be a minimum size of 3’x3’x2’
- ❖ Boulders are not allowed in turf areas smaller than twenty (20) by twenty (20) square feet

BUILDING HEIGHTS

The maximum building height of residential development in Alamar is limited to 30 feet (2 stories)

BUILDING MASSING

- ❖ Major modifications or Additions that affect or change the building massing of the Original Construction are not anticipated and will likely be few-and-far between.
- ❖ In the event that the DRC approves major modifications or Additions to an existing home, the building massing and building form shall retain the same character, massing, form, composition, roof slopes, scale, and proportions as the Original Construction.
- ❖ In the event that the DRC approves major modifications or Additions to the existing home, the building massing and building form shall be appropriate and authentic to the Architectural Style of the home.

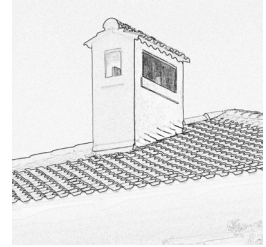
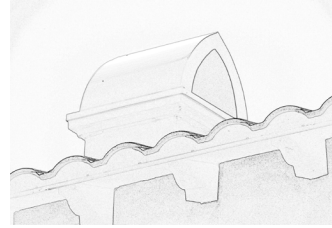
CARPORTS

Carport additions are not permitted.

CHIMNEYS AND ROOF PROJECTIONS

Other roof projections, such as vent stacks and pipes can be visually distracting. False chimneys are a preferred solution for concealing these elements.

- ❖ Dormer vents are not permitted



CLOTHESLINES

Clotheslines or other outdoor amenities for drying clothes shall be screened from Public View and not visible from neighboring properties. Clotheslines are not permitted in the front yard, on a front porch or a second-floor balcony or terrace. See Community Charter for Alamar Exhibit C, Section 1. (b)

COLOR SCHEMES

All exterior paint and stain colors must be selected from the approved color palette. Additional colors that are not on the approved color palette will be considered on a case-by-case basis. See the DRC for an up-to-date color palette. All paint, stain, fabric, tile, and other colors must match or complement the color scheme of the Home for which they are being used. Although Alamar encourages the use of color, it reserves all rights in its sole discretion to not approve colors or color combinations that it believes are not compatible for Alamar or the character of the home. Repainting exterior Improvements with the same, previously approved color scheme, so long as the original colors are used in the original locations, does not require DRC approval.

DECKS

A deck is a constructed elevated outdoor area attached to the Home (i.e. a porch without a roof)

- ❖ Decks are only allowed in enclosed Rear Yards
- ❖ Must be consistent with the style of the Home
- ❖ Should not be isolated from the Home
- ❖ Decks shall be setback a minimum of three (3) feet from side property lines.

DOORS (EXTERIOR)

- ❖ All doors visible from adjacent streets or Common Areas shall be enhanced with style appropriate architectural details. The style, pattern, appearance, materials, colors and details of exterior doors shall match the architectural style of the home.
- ❖ Door frame colors should be an accent or a complementary color with the color scheme of the house.



Front Entry

- ❖ The front entry is a showcase element for arriving guests.
- ❖ The front door should be a statement about the quality of the home.

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- ❖ Entry doors as well as garage doors shall reinforce the overall style of the home.
- ❖ Wood, composite fiberglass, metal or MDF are all acceptable materials for entry doors.
- ❖ Doors shall always be protected by deep recess or porch elements, providing a transition from outdoors to indoors.
- ❖ Recessed doors are encouraged where two-story massing occurs.



Screen and Security Doors

- ❖ Must match the architectural style of the home on elevations facing the street.
- ❖ Such doors shall be painted or stained an appropriate complementing color to the main body color of the home or the front door.

Other Doors

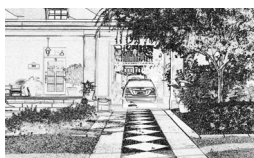
- ❖ Sliding glass doors and telescoping window walls should only be used when deeply recessed under roof or when hidden from Public View.
- ❖ Mechanical room doors should be screened from view. If a mechanical room door is exposed to Public View it should be a custom patterned veneered door.

DRAINAGE

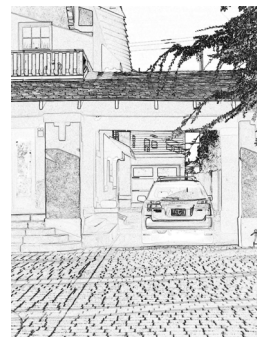
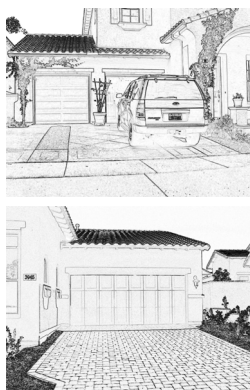
All Lots must drain per the engineering plans on file with the City of Avondale. Generally, lots drain to the street or alleyway. The placement of all walls and Accessory Buildings, the finish grade of the Lot, Improvements and Modifications or Additions to the Home shall be designed to accommodate the Lot drainage.

DRIVEWAYS

Driveways may be modified or replaced entirely with approval from the DRC. Additions to the width of existing driveways will be considered under the following conditions but should be designed to minimize their visual impact.



- ❖ The width of the driveway pavement shall not extend more than two (2) feet beyond either side of the actual garage door opening nor shall the width of the driveway extend beyond the face of the garage structure (whichever is most restrictive)
- ❖ Circle driveways (driveways connecting two (2) different street frontages) are not permitted
- ❖ Each Lot will only be permitted one (1) driveway entrance per street frontage
- ❖ Asphalt, Earth, Decomposed Granite, Gravel or other unimproved driveway surfaces are not permitted.



- ❖ Driveway approaches to vehicular gates shall match the existing material and color of the driveway.

DRIVEWAY GATES, PRIVATE

Private driveway gates within the Front Yard setback are not permitted.

ENTRY, FRONT

The front entry and guest arrival to a home should be open and welcoming. The architectural statement of the front entry (door) should be visible from the street and a well-proportioned statement in the front façade of the Home. The front entry should be elevated above the street and should provide as the focus either the front door, or an entry into an interior court that contains the front door of the home. Similarly, porches or courtyards surrounded by landscape walls may extend the front entry toward the street in a welcoming manner.

- ❖ Covered entries or porches must have roof forms consistent with the architectural style of the Home, and must not appear as an afterthought to the face of the Home
- ❖ Porte-cocheres, as a covered drive-up arrival to the front entry are not permitted, as they do not integrate well with the architecture of the Home or the desire to have the guest arrival open and inviting to those arriving by foot. Covered drive-up arrivals that occur on the side of the home separate from the front entry will be considered on a case-by-case basis
- ❖ Porte-cocheres which are well integrated into the architecture (most often in front of recessed garages) will be acceptable
- ❖ A walkway should be provided for the guest from the street or driveway to the front door.
- ❖ The front door or front arrival should be visible from the street, not hidden or remote
- ❖ The landscape design should be layered and guide the guest naturally from the street through zones of increasing privacy to the front door
- ❖ Low landscape walls may be used to announce the Home and may incorporate lighting and street numbers
- ❖ Homeowners are encouraged to light the walkway to the front door in the evening as well as during the day so it is inviting



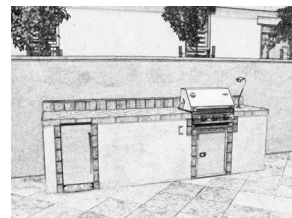
FINISH GRADE

Lots in Alamar provide a finished graded pad. This finish grade elevation may be adjusted slightly. The finish grade of the Lots may not be increased by more than two (2) feet above the Developer (or Builder) provided grade. The finished grade of the Lot must allow the entire Lot to drain to the street. Grades within the landscape may vary as is complementary to the design but must return to the Developer (or Builder) provided grade at the property lines. Landscape berms taller than three (3) feet (measured from average surrounding grade) or with slopes steeper than 4:1 will not be permitted. Landscape berms are not permitted in Yards less than twenty (20) feet in depth. It is highly recommended that earth displaced from the excavation of pools, basements, sub-levels, or other below grade elements be taken into consideration in the design of the finish grade. Grading plans shall state whether earth displaced from below grade elements shown on the site plan will be used on site or exported.

FIRE ELEMENTS - FIRE PIT, FIREPLACES, CHIMENEA, BARBECUES, GRILLS AND OUTDOOR COOKING EQUIPMENT

Outdoor fire elements including exterior fire pits, fireplaces, chimeneas, barbecues, grills and other outdoor cooking equipment should:

- ❖ Complement the design of the Home and landscape
- ❖ Fire elements shall be located a minimum of three (3) feet from any side yard property lines to minimize neighbor impacts.
- ❖ Utilize internally mounted spark arresters when possible
- ❖ Not be placed in the front Yard setback unless enclosed by courtyard walls
- ❖ Freestanding fireplaces and chimeneas shall be proportional in size to the surrounding elements
- ❖ Any fire element taller than six (6) feet shall be located a minimum of ten (10) feet from any side property lines.
- ❖ All exterior fire elements must be shown on the site plan for all reviews
- ❖ All fire elements must be contained within the enclosed Rear Yard or front courtyard
- ❖ Both gas and wood burning types of barbecues, fire pits and fireplaces are acceptable, although gas is preferred due to reduced smoke and fire danger
- ❖ Fuel storage tanks must comply with the Storage Tanks Section



Outdoor free-standing fireplaces are allowed subject to the following criteria.

- ❖ Setbacks are to be measured at the base of the structure (not just to that part extending above the Yard wall).
- ❖ Maximum fireplace height is limited to eight (8) feet, including chimney.
- ❖ Fireplaces may be set a minimum of three (3) feet from any property wall, but no less than the minimum as prescribed by Building Code.

PORTABLE OUTDOOR FIRE ELEMENTS

Equipment such as portable grills, fire stands, and heaters do not require DRC approval but must be removed from Public View and the view of Adjacent Lots when not in use. Because this equipment must be removed when not in use, ease of mobility and portability should be considered when choosing equipment for the Yard. This equipment should be used in locations generally in compliance with the above permanent regulations.

FLAGS AND FLAGPOLES

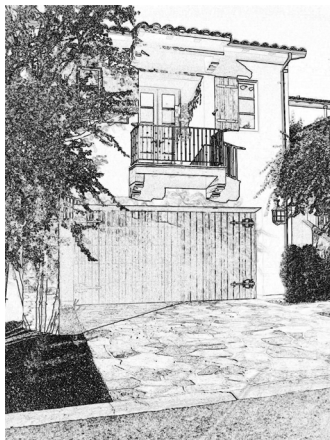
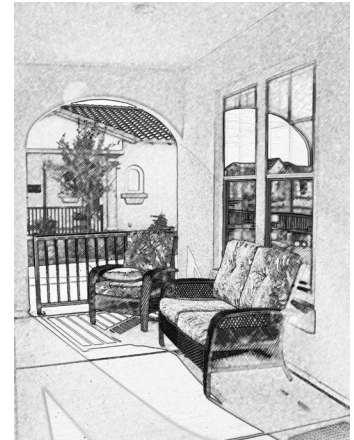
Except for flags that cannot be prohibited by law, such as flags protected by A.R.S. §33-1808 (A), no flag may be displayed on a Lot if the flag is visible from outside of structures on the Lot without the prior written approval of the DRC. The DRC may adopt reasonable rules and regulations regarding the placement and manner of display of flags, including flags that cannot be prohibited by law. The Association may adopt rules and regulations regulating the location and size of flagpoles, limiting an Owner or Resident to displaying no

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more than two (2) flags at once and limiting the height of a flagpole to no more than the height of the rooftop of the Residence located on the Lot on which the flagpole is installed.

FURNITURE, OUTDOOR

- ❖ The furniture does not have to match the style of the Home, but should complement the style
- ❖ Colors and materials should complement the color of the Home
- ❖ Outdoor furniture made of plastic will not be permitted in the front of the home visible to others unless approved by the DRC.
- ❖ Size and proportion of structural members should be consistent with the details of the Home
- ❖ Outdoor furniture should not look crowded in its setting and should not block the route to the front door
- ❖ Furniture with simple and elegant forms is encouraged
- ❖ All outdoor furniture must be kept neat and well-maintained in appearance, replace if becomes ripped, worn, faded or damaged



GARAGE

Conversion of any garage to finished space for use as livable space, an apartment, a guesthouse, or other integral part of the living area for any Home is not allowed. Each Home must maintain a garage capable of storing a minimum of one (1) standard vehicle.

- ❖ Garage doors wider than eighteen (18) feet will not be permitted
- ❖ All storage of RV's, campers, trailers, ATV's, boats, jet skis, watercraft or other recreation vehicles must be within enclosed garages

GATES

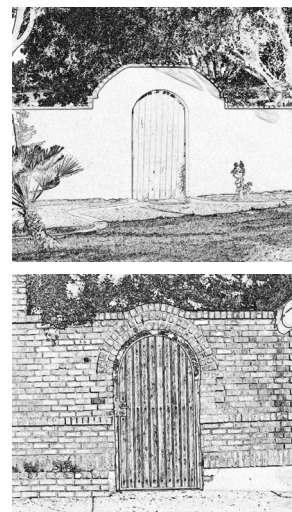
When gates are required, decorative gates that complement the architecture of the Home and design of the landscape should be used. Gates should read as architectural statements in the landscape and include column and arching elements to anchor them. Gates should not be designed to look like municipal access gates for service Yards.

- ❖ Gates and the style of decoration in the metal or carved wood gates should complement the architectural style of the Home
- ❖ Animal, plant, character, symbols, numbers, letters, pictorial graphics or other graphic depictions are not allowed on a decorative gate.
- ❖ Gate color should complement the style of the Home
- ❖ Gates should be wrought metal or wood
- ❖ Products used for gates that simulate wood will be considered for approval
- ❖ Gates should not dominate the view from the street



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- ❖ Decorative surrounds using stone, brick or stucco are encouraged
- ❖ Overly complicated decoration which detracts from the overall composition of the Home should be avoided
- ❖ Gates as part of the front arrival to the Home must include devices to allow visitors access to the front door and must be inviting
- ❖ Gates over forty-two (42) inches high will not be allowed in the front Yard setback
- ❖ Vehicular gates are permitted subject to prior approval by the DRC
- ❖ Refer to Exhibit “B” for vehicle parking restrictions
- ❖ No gates or other access openings are permitted to open to common landscape areas, linear parks or adjacent open spaces
- ❖ The DRC may approve gates that face a side street or an alley
- ❖ The DRC may require that gates be solid as to screen views to the Yard behind the gate
- ❖ Gates may not exceed the height of the adjacent fence by more than twelve (12) inches, unless otherwise approved
- ❖ Side gate paths can be added but must match driveway pavement or be better in appearance. Paver connection from concrete driveway is premitted, concrete path connection is not permitted.



GAZEBOS, RAMADAS AND SHADE STRUCTURES

Gazebos, ramadas, shade structures and similar structures are prohibited in front yards but may be permitted in oversized side yards and in rear yards, if such structures are consistent with the requirements of these Guidelines and are approved by the DRC. Tent-style structures as well as structures constructed of fabric and metal will not be allowed. This section pertains to any structure or improvement detached from the house, exceeding the height of the solid yard wall (privacy wall), visible from adjacent streets or Common Areas, or in a yard with a full or partial view fence. Any such improvements require submittal for review and approval prior to construction.

The purpose of this subsection is to promote neighborly consideration, deal with issues of privacy and ensure consistent architecture which, in turn, will preserve property values and Community image.

- ❖ No Improvement of any kind may be attached to the Yard walls.
- ❖ Minimum setback from all Yard walls is three (3) feet for all structures.
- ❖ All structures or improvements shall be textured and colored to match or complement the texture, color and character of the home.
- ❖ Maximum height of any Improvement at the three (3) foot setback shall be eighteen (18) inches above the top of the nearest Yard wall. Heights greater than eighteen (18) inches above the Yard wall are permitted, however, for each additional foot of elevation over eighteen (18) inches above the Yard wall, an additional one-(1) foot setback is required. Maximum allowable height under any circumstances is twelve feet (12) above the existing finished pad except for additional buildings on the same lot.
- ❖ The quality of design and construction of any structure or improvement shall meet or exceed that of the home/primary building.
- ❖ The massing and scale of any improvement subject to these Guidelines shall be consistent with the design and structure of the associated building, other rear Yard improvements and the neighborhood. The design of the Improvement shall include

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architectural features on all elevations that are visible from adjacent streets or Common Areas.

GRAVEL/GROUND PLANE TREATMENTS

Treatments that are composed of materials that contrast highly in color or texture with the rest of the landscape will not be allowed. River rock and riprap as a ground plane treatment or as a decorative river-like accent in the landscape is not permitted. Ground plane treatments should not visually dominate landscape areas.

DECOMPOSED GRANITE

- ❖ Decomposed Granite shall be one of the following colors: “Express Carmel,” “Apache Brown,” or “Table Mesa Brown” or “Painted Desert”
- ❖ Decomposed Granite shall be ¾” screened in size
- ❖ Decomposed Granite may be used between planting but not more than one hundred (100) square feet may be exposed
- ❖ White, green, brick red, and/or other colors of decomposed granite are prohibited.
- ❖ A pre-emergent herbicide is required beneath all decomposed granite

GUTTERS AND DOWN SPOUTS

- ❖ Gutters, down spouts and exposed drain outlets must be consistent with the architecture of the home.
- ❖ Down spouts are typically located at inside corners of the home to minimize the visual impact.
- ❖ Gutters and down spouts, except copper, must be painted to complement the exterior elevation materials.
- ❖ Downspouts and drainage outlets may not direct water on to adjacent properties.
- ❖ Splash guards must complement the style of the home.



HOLIDAY LIGHTING AND DECORATIONS

The intent of this section is not to discourage exterior decorating for the holidays, but only to maintain a standard of quality befitting a community like Alamar. The DRC reserves the right to prohibit any holiday lights and decorations deemed inappropriate in their opinion for the image of Alamar.

- ❖ Halloween lights and decorations are permitted between October 1 and November 6.
- ❖ Fall decorations are permitted between October 1 and November 30.
- ❖ Holiday lights and decorations are permitted between Thanksgiving and January 10.
- ❖ Lights and decorations for other holidays may be installed no more than two (2) weeks prior to the holiday and must be removed within one (1) week after the holiday.
- ❖ Holiday decorations, other than lights, shall not be permitted to be mounted on roofs.

IRRIGATION

- ❖ Automatic underground irrigation systems are required for all landscape areas
- ❖ Different valves should be provided for trees, low-water-use shrubs, ornamental shrubs, turf, pots, fruit trees and vegetable gardens. Additional valves should be considered to accommodate varying sun exposures

OWNER DESIGN GUIDELINES FOR ALAMAR

- ❖ If rotors or trajectory type heads are used to irrigate turf, separate valves should be provided to maximize control and efficiency
- ❖ Spray irrigation is limited to turf areas only
- ❖ Irrigation shall not spray on any wall or vertical surface
- ❖ Irrigation run-off of any kind into streets, sidewalks, Common Areas or Adjacent Lot is not permitted
- ❖ The use of drip irrigation systems is encouraged for the rest of the landscape
- ❖ Valve boxes, transformers, timers or other flush mounted boxes shall match the color of the ground treatment, and should not be placed within turf areas
- ❖ All free-standing or wall-mounted equipment should be painted to match the exterior of the house or the walls on which it is mounted
- ❖ All equipment should be placed in inconspicuous areas of the site, generally screened from the Public View.

LANDSCAPE



Within Alamar, there are abundant opportunities to create exceptional outdoor living environments. The climate in Arizona, which is pleasant most of the year, makes it possible to use outdoor rooms to extend the living area of the house into the landscape. Landscape design in the Alamar neighborhood should accent the architecture of the Home and complement the overall street scene. Just as no Home should dominate the Public View, so too no landscape should dominate. The landscape should help

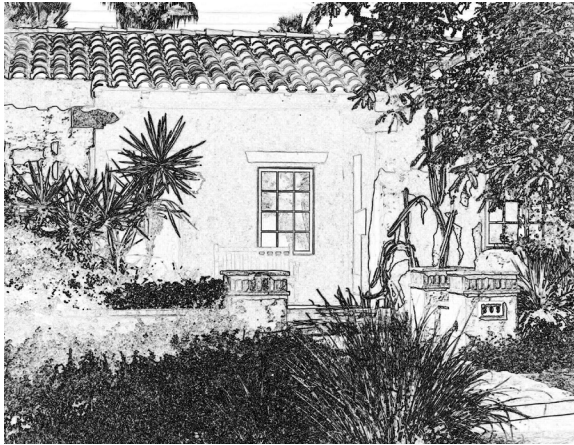
the Home feel grounded, as if it is growing out of its site. The landscape should use materials that complement the architecture of the Home, echoing its patterns, massing, and scale into the site surrounding the Home. The elements of the landscape should be used to accent the visual features of the Home and extend its functionality with outdoor rooms and active spaces. Landscape design within Alamar should be layered to provide a series of spaces one passes through from the street or public spaces to the house. These spaces should be increasingly private as one approaches the Home.

- ❖ All planting beds are to be mulched, wood, fibrous or organic mulches are permitted in perennial and ground cover beds only
- ❖ Not more than one hundred (100) square feet of inorganic mulch may be exposed
- ❖ River rock swales are prohibited
- ❖ Planting types are defined as shrubs, ground covers and accent plants.



OWNER DESIGN GUIDELINES FOR ALAMAR

Trees and Shrubs



To provide a consistent planting density throughout the neighborhood, the following minimum planting requirements will be enforced. Plants that need to be replaced must be replaced with new plants that match the quality, size and species of the existing plant being replaced.

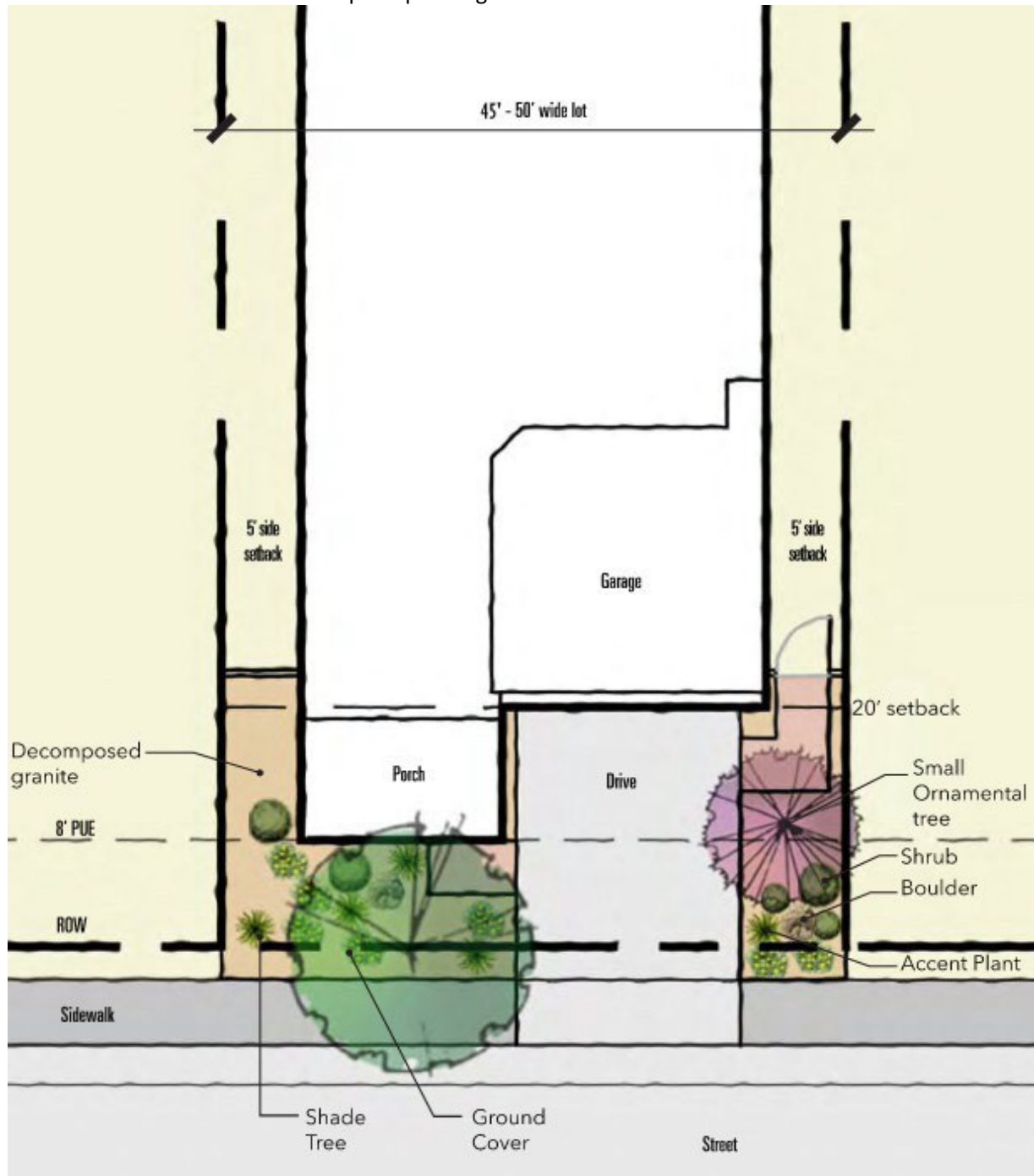
- ❖ Specific quantity requirements for front yard trees have been established to create a consistent and desirable streetscape image within the neighborhoods. Requirements apply to all street frontage conditions on residential lots
- ❖ Trees must be planted a minimum of three (3) feet from all sidewalks, curbs, driveways, fences, walls, property lines and Homes
- ❖ The placement of the required trees and shrubs shall be designed to create a complete landscape
- ❖ Plans that mass all of the trees and shrubs at the building and place nothing at the outside edges of the Lot will not be approved
- ❖ To ensure similar density and coverage of plant material for all home sites, the requirements for shrubs, ground covers, and accent plants are based on the actual area (square feet) of the front yard excluding any sidewalks, driveways, patios, or other hardscape elements.
- ❖ Front yards (and visible side yards of all corner lots) are subject to the following minimum planting requirements:

Table 7 - Front Yard Landscape Requirements			
Plant Type	Min. Size	Lots 45 - 50-foot	Lots 60 - 70-foot
Street Tree	24-inch box	1	2
Small Ornamental Tree	15-inch Gal.	1	2
Shrubs	5 Gal.	1/100 sf	1/50 sf
Ground Covers	1 Gal.	1/65 sf	1/65 sf
Accent Plant	5 Gal.	1/100 sf	1/100 sf
Granite Boulders	3'x3'x2'	2	3

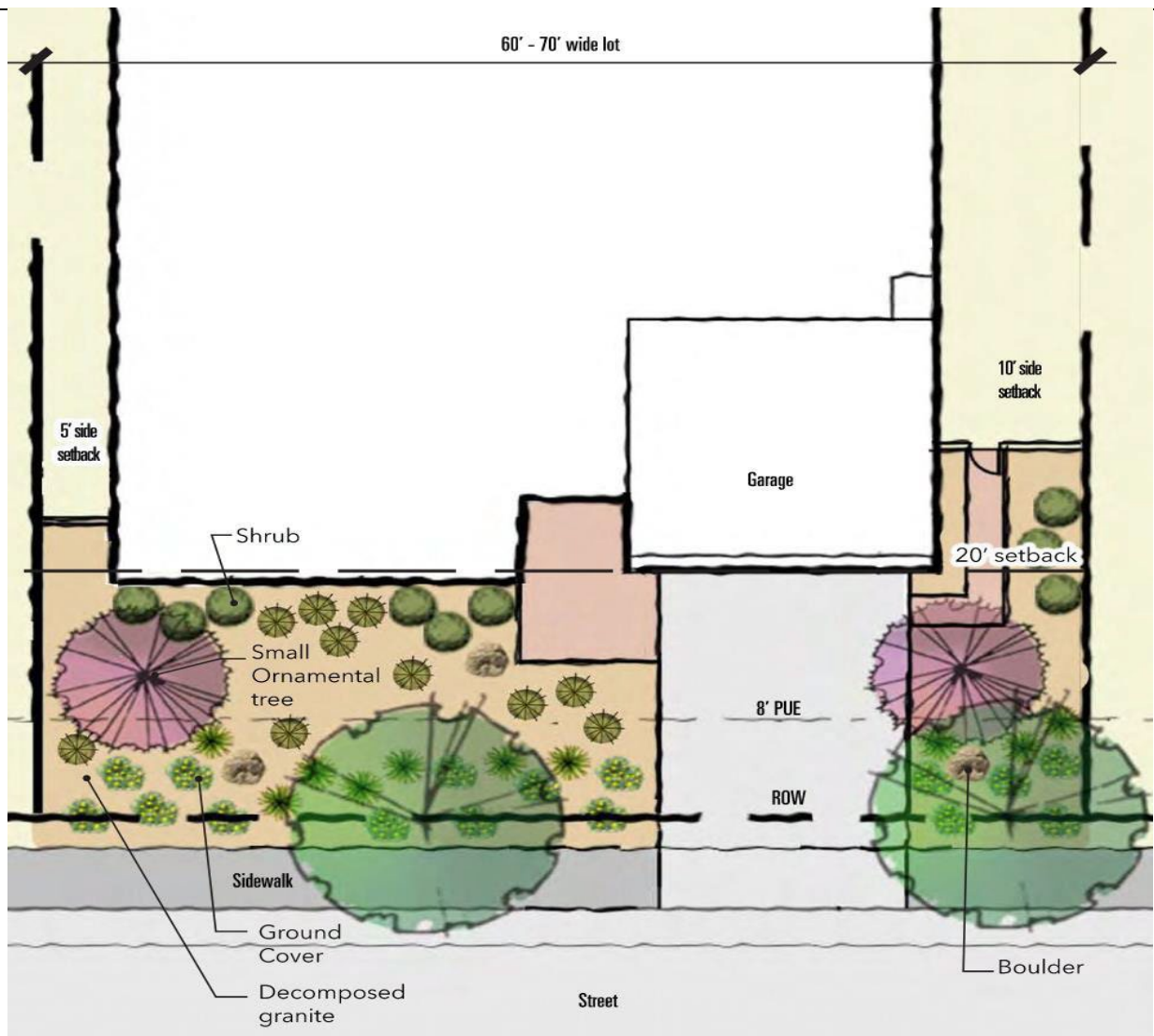
Planting Areas

OWNER DESIGN GUIDELINES FOR ALAMAR

Conceptual planting exhibit for a 45'-50' wide lot

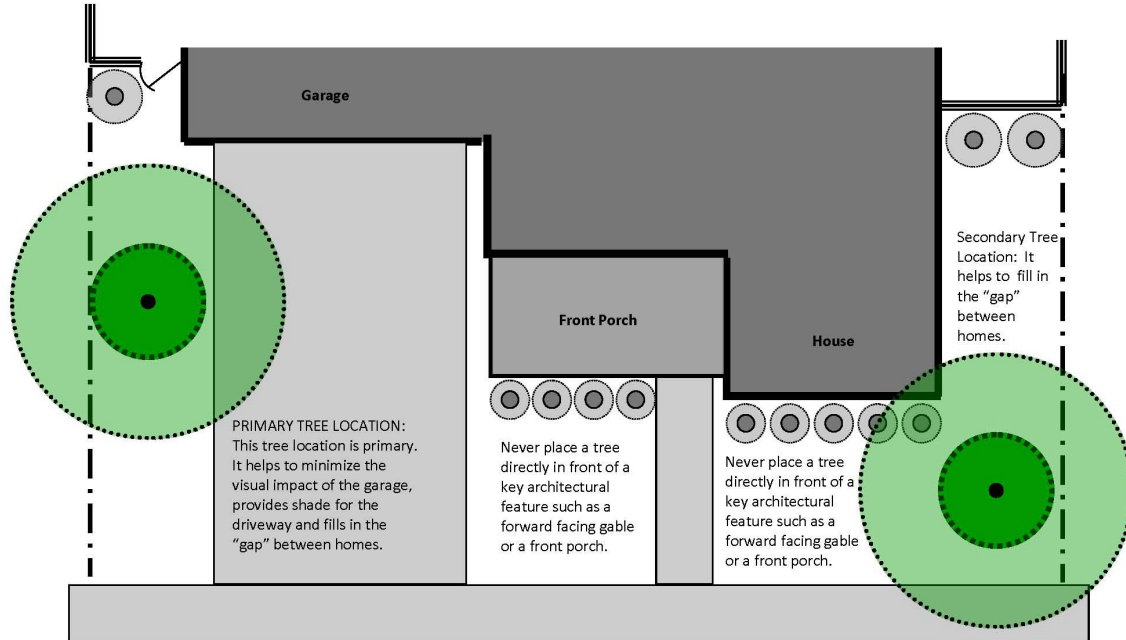


OWNER DESIGN GUIDELINES FOR ALAMAR



Conceptual planting exhibit for a 60'-70' wide lot

Tree Placement

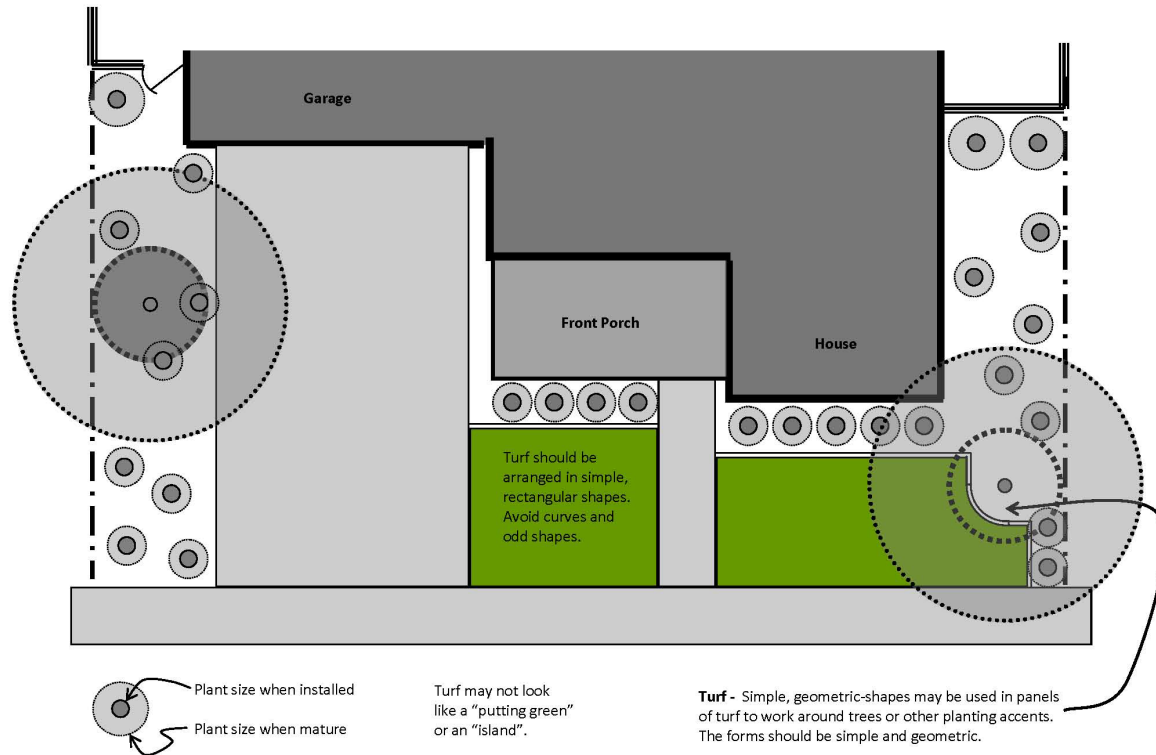
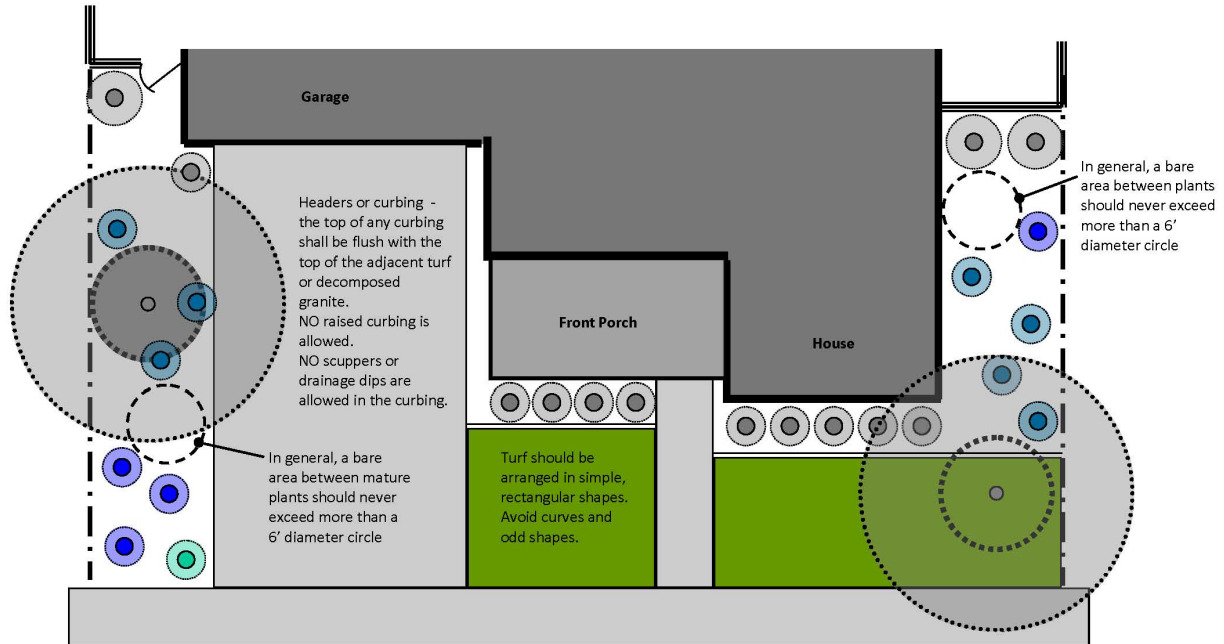


Lawn/Turf/Grass

Turf should be designed with forms that complement the architecture of the Home. The turf should be located so that it provides a visual and functional extension of the interior rooms of the house. The turf should be a hybrid Bermuda grass species in sod form, and it is recommended that the turf be over seeded with perennial Ryegrass in cool seasons. All retaining walls must be properly waterproofed where turf irrigation occurs on the high side. Turf on slopes steeper than 6:1 is generally not permitted.

- ❖ Turf areas shall be a minimum of six (6) feet in width
- ❖ If using turf in the front yard zone, a minimum of sixty (60) square feet is required.
- ❖ The maximum area of turf in the front yard zone is nine (9) square feet for each lineal foot of the lot width.
- ❖ Turf areas must be at least four (4) feet from the building (to limit staining on the building)
- ❖ Turf areas should be designed to complement the front walkway, courtyard or patio area
- ❖ Turf areas are required to be defined by a steel, concrete, grouted stone or other masonry border (minimum width of four (4) inches)
- ❖ Wood, scalloped concrete and plastic borders are not permitted
- ❖ Turf areas must be irrigated with an automatic, underground irrigation system
- ❖ Turf species and/or hybrids must be on the Approved Tree and Plant List
- ❖ "Island Planting" is not allowed, Turf should engage a walkway on two (2) sides.
- ❖ No transition planting is required if adjoining Lot is also turf
- ❖ If using Artificial Turf, see Artificial Turf requirements for specifications.

OWNER DESIGN GUIDELINES FOR ALAMAR



Ground Cover

The front and side yard should appear lush and should limit the amount of visible ground plane treatments. Ground cover or other planting is encouraged to limit the visibility of the ground plane treatment.

Artificial Turf

Artificial turf is permitted in Front and Rear Yards subject to the following stipulations and prior approval by the DRC.

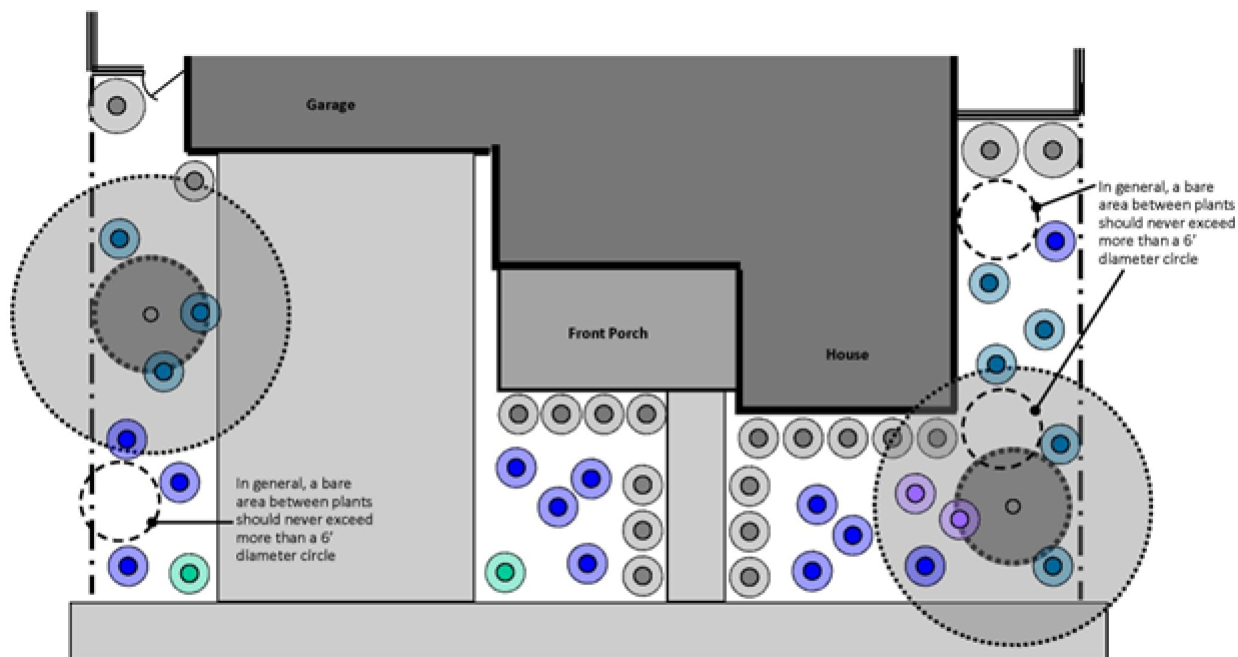
- ❖ Artificial turf panels shall be sized to resemble natural turf.
- ❖ The shape of Artificial Turf shall follow the same criteria as for natural turf.
- ❖ Artificial Turf and natural turf are not allowed in the same exposed yard.
- ❖ The use of natural trees, shrubs and groundcover plants within the Front Yard zone are encouraged and shall comply with the minimum tree and plant density requirements.
- ❖ Artificial Turf shall have the appearance of “real rye grass” or “real Bermuda grass”.
- ❖ Artificial Turf must include a significant amount of “brown thatch” to promote a natural appearance.
- ❖ Artificial Turf minimum “face weight” shall be sixty (60) ounces.
- ❖ Artificial Turf “pile height” shall be a minimum of 1 ½” and a maximum of 2” in height.
- ❖ Granular fill material is required for Artificial Turf to keep the grass fibers upright and vertical.
- ❖ Artificial Turf shall be maintained in a manner that retains its original appearance at the time of installation.

Transition Planting

Transition planting is required between widely varying landscapes, such as between a turf and a non-turf front Yard of adjoining Houses. Transition planting generally consists of low ground cover intermingled with small shrubs.

Mass Planting

Formative mass plantings can also be utilized in lieu of large areas of turf. Mass plantings should respect hierarchy in heights and be organized in groups of not less than three (3) shrubs.



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Transitions between Planting Areas

Where there is no wall or architectural edge, plant material selection, layout and densities must blend seamlessly in the landscape without abrupt changes. The landscape must also blend seamlessly where there is no wall between Adjacent Lots. Concrete headers demarcating the property lines are not permitted. When a vertical separation such as a wall exists, the change is allowed to be abrupt.

LANDSCAPE, MAINTENANCE

Each Owner shall maintain its Lot, including all structures, landscaping and other improvements comprising the Lot, in a manner consistent with the Governing Documents and the community-wide standard.

LIGHTING DESIGN, OUTDOOR

Except as initially installed by the Founder or a Builder, no spotlights, floodlights, or other high intensity lighting shall be placed or utilized upon any Lot or any structure erected thereon which in any manner will allow light to be directed or reflected on any other property, unless otherwise approved by the DRC.

Lighting Philosophy and General Requirements.

The lighting philosophy at the Community is to create an ambient glow throughout the neighborhoods. This should be done with lighting that strategically illuminates the landscape and outdoor spaces. The goal is to preserve, as much as possible, the darkness of the night sky while providing lighting as needed for safety and aesthetics.

To accomplish this, the following general requirements must be met for normal daily use.

- ❖ The maximum wattage of any exterior lamp is seventy-five (75) watts. Using lower wattages to achieve the desired effect is encouraged.
- ❖ The lighting should be soft and warm. Incandescent, LED, halogen, and compact fluorescent lamps (2,700-3,000-degree K only) are acceptable types of bulbs.
- ❖ Use of dramatically colored lamps or lenses is not permitted.
- ❖ High-intensity discharge sources like metal halide and high-pressure sodium are not permitted and do not comply with the maximum lumen output. Mercury vapor and unshielded floodlights are prohibited. New lighting technology will be reviewed on a case-by-case basis.
- ❖ Pole or post-mounted lights are prohibited except for landscape lights under twenty-four (24) inches tall.
- ❖ Light fixtures that are wall mounted or hung from the ceiling (chandelier or pendant) should be limited to forty (40) watts.
- ❖ Light fixtures shall/must be shielded to conceal the light source and eliminate glare. Fixtures may use translucent glass shades that significantly reduce glare. "Hot spots" should be avoided in the night-time appearance of the home.
- ❖ Light fixtures must blend with the landscape or complement the architecture of the home.



- ❖ Light fixtures must relate to the architectural style of the home. The scale of the fixture must be proportional to the wall or space where it is mounted.
- ❖ Interior light sources must not be visible through windows at night. Interior lights that illuminate ceilings should be placed so that the bulb is not visible from adjacent second levels.
- ❖ Exterior recessed lighting in soffits, eaves or ceilings shall have the lamp recessed a minimum of three (3) inches.
- ❖ Step lighting is encouraged.
- ❖ Landscape lights should illuminate vertical objects in the landscape rather than horizontal paved surfaces. When a paved surface is to be illuminated, down lighting from trees or adjacent structures should be used.
- ❖ Underwater lighting is acceptable but should be placed to minimize the visibility of the light source.
- ❖ Sport court and play area lighting is prohibited.
- ❖ The appearance of exterior lighting fixtures should be appropriate to the style, character, and color of the home and other Improvements.
- ❖ All lighting shall be installed so as not to be aimed at surrounding property.
- ❖ Exterior lights shall not be mounted higher than the eave line of the house or ten (10) feet from the adjacent finished grade of the house (whichever is the smaller dimension), unless specifically approved by DRC.

STRING LIGHTS

String lights, strand lights, "festival lights", "party lights", "cafe lights" or other lights that are attached to continuous strands must be approved by the DRC prior to installation and shall be subject to the following design criteria:

- ❖ The DRC reserves all rights to approve, approve stipulations or disapprove the use of String Lights at its sole discretion on a case-by-case basis considering the unique aspects of each property. The use of String Lights must be considered "reasonable" in the opinion of the DRC. The DRC reserves the right to create special stipulations or to allow minor exceptions as deemed appropriate by the DRC.
- ❖ String Lights are only allowed in the Rear Yard or Enclosed courtyards.
- ❖ String lights must be located a minimum of two feet (2'-0") from any property line; and a minimum of two feet (2'-0") from any fence or Yard Walls.
- ❖ String light poles at maximum are allowed to be eight feet (8'-0") in height in rear yard.
- ❖ String lights shall be mounted between seven to ten feet (10'-0") above the adjacent finished grade or the bottom of the lowest single-story roof eave of the existing house, whichever is more restrictive.
- ❖ String lights are allowed to be anchored directly to the home, shade structure or Accessory Structure. The string lights must be connected at or below the lowest eave line of the home.
- ❖ A maximum of two (2) free standing pole/post are allowed to support the string lights, if necessary. If free-standing support pole/post are necessary, the post must be structurally strong enough to avoid bending or bowing. In general, the size of a support pole/post shall be between 2½" diameter minimum and 3½" diameter maximum. The pole material and wall thickness, information to be submitted with application. Any pole/post shall be installed and maintained vertical and plumb; the

OWNER DESIGN GUIDELINES FOR ALAMAR

pole/post may not bend, bow, or lean. Any pole/post shall be painted black or dark bronze. Pole/post in the backyard should be concreted into the ground to eliminate swaying of the pole/post. No pole/post or lead line from a pole/post should be attached to a fence or yard wall to eliminate any damage to surrounding backyard walls.

- ❖ No more than three (3) strands of string lights may terminate at the same connection point.
- ❖ All strands of string lights shall be taut, tight, and relatively straight. No swags or "drooping" strands of lights are allowed. String lights are not allowed to be oriented in a vertical or angled orientation.
- ❖ The individual bulbs must be spaced a minimum of eighteen (18") apart in the center.
- ❖ No more than fifty (50) total bulbs are allowed.
- ❖ No more than one hundred (100) lineal feet total of string lights are allowed.
- ❖ Each individual light bulb may not exceed 66 lumens (the equivalent of an 11-watt incandescent bulb).
- ❖ Bulbs may be white or clear. Antique filament lights (i.e., "Antique Lights", "Vintage Lights" or "Edison Lights" are allowed.) Colored lights are not allowed. LED lights that can change colors are not allowed.
- ❖ Lights may not flicker, flash, blink, animate or change colors.
- ❖ String lights with decorative shapes; or with decorative or thematic shades are not allowed.
- ❖ "Rope Lights", "Holiday Lights" and "Mini-Light Strings" like those commonly used for holiday decorations are not allowed as String Lights under these criteria.
- ❖ String lights should not be on past 10:00pm unless the outdoor space is actively being used at the time. String lights are not allowed to be used as security lighting.
- ❖ Owners shall be required to always maintain the String Lights in an attractive manner. If the appearance of the string light becomes unsightly, the Owner shall immediately remove, repair, or replace the String Lights.



Driveway, Motor Court, and Garage Lighting

Driveways and other hardscape surfaces should generally not be illuminated at night. When it is necessary to illuminate these elements in the landscape for safety reasons, driveway lighting should follow the following criteria.

- ❖ Driveway lighting should not "line" the driveway with fixtures. Fixtures should be spaced an average of fifty (50) feet and a minimum of twenty-five (25) feet.
- ❖ Pole mounted down lights are prohibited, unless approved by the DRC.
- ❖ Tree or wall mounted down lights must be shielded and shall not be hung more than nine (9) feet above the paved surface.

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- ❖ Illuminated driveways shall not be less than five (5) feet away from adjacent lots.
- ❖ Light fixtures shall be shielded to conceal the light source and eliminate glare. Fixtures may use translucent glass shades that significantly reduce glare. “Hot spots” should be avoided in the night-time appearance of the home.
- ❖ Lighting fixtures shall blend with the landscape or accent the architecture.

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- ❖ Driveway lighting should never visually dominate the view of the house at night from “public” areas.
- ❖ In an effort to minimize light pollution, driveway lighting should generally be turned off by automatic methods by midnight and must be turned off completely during extended times in which the home is not occupied.
- ❖ Fixtures should point toward the home and sources must be shielded.

Porch and Front Door Lighting

Continuously operating lighting at front porches and the front door of homes is a key design principle within the community. This type of lighting helps to create attractive streets, welcoming neighborhoods, and a sense of community vitality.

- ❖ Porch or front door lighting is important to provide a welcoming and open appearance to the home in the evening.
- ❖ Each home is encouraged to maintain at least one (1) light, which operates in the “on” position from dusk to dawn on all days, on either the front porch or near the front door of the home. Such light shall be on a photocell or other automatic timer to ensure consistent and continuous operation.

Security Lighting

Security lights including flood, Yard and motion detector lights are generally discouraged, but may be permitted under the following conditions.

- ❖ Security lights are not allowed for general illumination.
- ❖ Security lights may not exceed seventy-five (75) watts or one thousand two hundred (1,200) lumens per location.
- ❖ Security lights must be fully shielded. The source shall not be visible from adjacent streets or Common Areas.
- ❖ Security lights may not be directed at the street and must generally be directed downward and may not cause excessive glare or light spill onto adjacent lots.
- ❖ Security lights may not be mounted higher than the eave or more than ten (10) feet above adjacent grade.
- ❖ Security lights shall complement the architectural style of the home or be painted to match the color of the surface on which they are mounted.
- ❖ Security lights may be switched on or turned on by a motion detector. Lights turned on by a motion detector will only be allowed to stay lit for twenty (20) minutes. Motion detectors must be set so that the movement of vegetation, pets or wildlife does not turn on the security lights. Lights turned on by switch must be turned off after midnight.
- ❖ Security lighting is not permitted within the front yard setback.
- ❖ If problems occur with security lights the DRC and Community Association reserve the right to demand that the fixtures be removed.

Supplemental Lighting

In any area within the community with private roads and no city streetlights, each residence shall have two lights, if constructed with a two-car garage facing the street, and three lights if constructed with a three-car garage facing the street, such lights are to be mounted at the entry side of the garage(s). These lights shall be operated by a photocell or photo sensor and wired to the meter of the residence they are mounted on. They shall be illuminated from sundown to sunup and serve to supplement the street lighting system during those hours.

MISTING SYSTEMS

Misting systems are not allowed on front porches, balconies or patios that face a street. Misting systems are permitted in Rear Yards.

ORNAMENTAL AND STRUCTURAL DETAILS

Ornamental and structural details should be used to accent the architectural style of the home. Details inconsistent with the architectural style or with random patterning or spacing may not be permitted. Unless specifically approved, whether for functional or aesthetic purposes, materials such as flues, vents, louvers, flashing, chimney caps, railings, utility boxes and mechanical equipment and utilitarian metalwork of any kind must match the building color of the adjacent surface or be of a complementary color. Creativity is encouraged for decorative elements such as railings, gable vents, front door surrounds and decorative tiles for stairs. Ornamental details should appear to be functional elements.

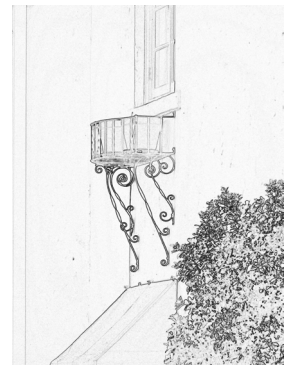


Columns and Posts

- ❖ Columns and posts should appear to be solid supporting elements.
- ❖ Concrete and cut stone columns should be a minimum twelve (12) inch diameter. The use of other materials which look like stone or concrete columns can be proposed to the DRC.
- ❖ The DRC may, at its sole discretion, prohibit the use of materials other than concrete and stone for concrete and stone columns.
- ❖ Wood posts should be a minimum eight (8) inches by eight (8) inches. The use of other materials that look like wood posts can be proposed to the DRC. The DRC may at its sole discretion prohibit the use of materials other than wood for wood posts.
- ❖ Stucco columns should be a minimum eight (8) inches by eight (8) inches and should include a trim accent. Lesser dimensions may be permitted if style appropriate or if it improves the overall quality of the façade.

Railings

- ❖ Railings should be wrought metal, pre-cast concrete, carved stone. Wood railings are only permitted when they are appropriate to the architectural style of the home. Wood railings are not permitted due to the maintenance needs required in the Arizona climate.
- ❖ When pre-cast concrete or carved stone is used, the design should complement the architectural style of the home. Other elements such as a single metal rail may be required between pre-cast elements to meet code regulations.
- ❖ Pre-cast or carved railings which dominate the elevation of the home due to their heavy mass will be prohibited.
- ❖ When metal railings are used, wrought or decorative metal is required (i.e. decorative knuckles, scrolls, forged parts and/or baskets with a top rail in decorative form. Plain tube steel rails should not be used unless screened from Public View.



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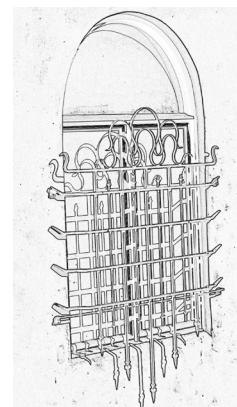
- ❖ The style of decoration in the metal should complement the architectural style of the home.
- ❖ Overly complicated decoration which detracts from the overall composition of the home shall be avoided.

Trim and Applied Accent Details

- ❖ The use of pre-cast concrete and cut stone trim and accent details shall:
 - Be appropriate to the architectural style of the Home
 - Be used as accent
 - Not dominate the Home
- ❖ Some styles permit the use of stucco “pop-outs” instead of concrete or stone trim elements
- ❖ When stucco “pop-outs” are used they should be in the proportions of pre-cast concrete and stone trim details
- ❖ Stucco finish “pop-outs” used as a window sill and/or accent, must be wide enough to appear integrated with the façade design
- ❖ Pre-cast concrete and cut stone trim and applied accent details should be constructed from concrete or stone. When these details are constructed of other materials, they should appear to look like concrete or stone construction including defects natural to these materials. The use of other materials that look like stone or concrete details can be proposed to the DRC. The DRC may at its sole discretion prohibit the use of materials other than concrete and stone for concrete and stone details.

Window Shutters, Window Guards (bars/grates)

- ❖ Shutters must be proportional to the window it flanks.
- ❖ Shutters should be mounted to appear functional.
- ❖ Oversized or undersized shutters will not be permitted.
- ❖ Shutters should have a minimum 1-inch thickness
- ❖ Shutters that are sized to double fold over the window opening may be acceptable if appropriate to the architectural style of the home.
- ❖ Shutters should be constructed out of wood or other high-quality material with a wood appearance. The use of other materials that look like wood can be proposed to the DRC. The DRC may at its sole discretion prohibit the use of materials other than wood for shutters. The use of other materials for shutters may be permitted if style appropriate or if it improves the overall quality of the façade
- ❖ Window guards (bars) are permitted when they are decorative additions to the home and in full compliance with all fire safety regulations imposed by the County, City or other governmental authority.
- ❖ Standard tube steel window bars are not permitted.
- ❖ Overly ornate iron work that dominates the view from the street will not be permitted.



OUTDOOR ROOMS



The extension of the living spaces of a Home to the outdoors is a very important feature in designing homes in Arizona. The outdoor living spaces can be programmed to incorporate a wide range of activities from private intimate reading gardens to views across recreation lawns, to dynamic resort-like rooms dominated by water features and pools. These spaces expand the usable area of the Home and echo the architecture into the landscape. When these spaces are well defined with landscape elements and walls, they create comfortable outdoor rooms that can provide accent and interest.

- ❖ Landscape walls, arcades, hedge rows, tree canopies and placement can all be used to create outdoor rooms: spaces that define areas of the yard for different activities or different landscape expressions
- ❖ These rooms should be completed with appropriate outdoor furnishings, and art, accent plants or water features to provide focus to these spaces
- ❖ These rooms should be used to visually and functionally connect other structures and elements of the yard (such as pools or lawns) back to the house

PARKING

No mobile home, travel trailer, tent trailer, trailer, camper shell, boat trailer or other similar equipment or vehicle may be parked, kept, or stored on any Common Area. No mobile home, travel trailer, tent trailer, trailer, camper shell, boat trailer or other similar equipment may be parked, kept, or stored on any Lot to be visible from outside of structures on the Lot.

Except as permitted by this Section, no Motor Vehicle may be parked, kept, or stored on any Lot or the Common Area. No Motor Vehicles designed or used for carrying persons, merchandise, supplies or equipment for commercial purposes may be parked on the Common Area or on a Lot, except for the temporary parking of the Motor Vehicles of contractors, subcontractors, suppliers or vendors of the Association or the Owners, lessees, or residents. Permitted Motor Vehicles may be parked on Lots or Common Area only in accordance with the provisions of this Section.

No Motor Vehicle of any kind may be stored on a Lot except in a garage, and no Motor Vehicle of any kind may be stored on the Common Area. For purposes of illustration but not of limitation, a Motor Vehicle shall be deemed stored if it is covered by a car cover, tarp, or other material. Motor Vehicles owned by guests of an Owner, lessee or resident may be parked in the driveway on a Lot for a maximum of seven (7) days.

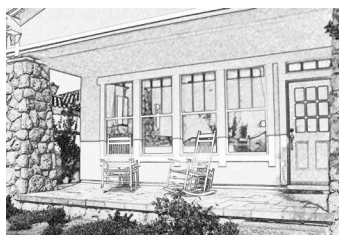
Recreational vehicles, motor homes and similar vehicles owned or leased by an Owner, Lessee or Resident may be parked in the driveway on a Lot only for the purpose of loading or unloading subject to such limitations as may be established by the Board.

See Community Charter for Alamar Exhibit C, Section 3 for additional parking restrictions.

OWNER DESIGN GUIDELINES FOR ALAMAR

PATIOS, PORCHES, AND BALCONIES

A porch is a covered outdoor area that is attached to the home and elevated above the level of the yard. A patio is a covered outdoor area that is attached to the home at approximately the same level as the yard. Decorative wrought metal balconies are permitted when they are decorative additions to the Home.



Front porches and patios are key design features of the homes in Alamar and are important expressions of the authentic architectural styles, providing outdoor living space focused on the Community. This philosophy carries forward to future additions or other improvements that may relate to front porches or balconies.

Patios, porches, and balconies must be:

- ❖ Integrated in the design and consistent with the architectural style of the home
- ❖ These elements should not be isolated elements from the home
- ❖ Balconies should appear well supported and in scale with the wall mass
- ❖ Conversion of any front porch or balcony to enclosed or finished space for use as livable space, screened porch or part of the internal living area for any home is prohibited
- ❖ Front porches, patios, and balconies shall be maintained in an attractive and clean manner
- ❖ Porch furniture, swings, rockers, potted plants and similar porch-like furnishings are encouraged
- ❖ General storage, including but not limited to bicycles, play equipment and barbecue grills, is not allowed on front porches, patios or balconies



PATIO ROOFS AND PATIO COVERS

All patio roofs, shade structures, trellises and porte-cocheres shall be visual extensions of the architectural styles and main roof structures of the home.

- ❖ Such roofs shall be appropriate to the style and building massing of the Home and must look integral with the overall composition of the Home
- ❖ Such roofs may not look “attached” or “stuck on” and must use the same detailing, materials, finishes and colors as the Home
- ❖ All such structures shall comply with the applicable building setback criteria for the lot.

PET ENCLOSURES, KENNELS, AND DOG RUNS

- ❖ Pet enclosures, including dog runs, kennels, pet shelters and other pet containment structures are only allowed in a Rear Yard.
- ❖ Pet enclosures may not exceed the height of yard fences or landscaping.

- ❖ Pet enclosures shall be placed in a location that minimizes adverse impacts to the users of adjacent properties.
- ❖ Pet enclosure shall be located a minimum of three (3) feet from any neighboring property lines.
- ❖ Loose tarps or shades or other temporary elements are not allowed on or over pet enclosures.
- ❖ See Community Charter for Alamar Exhibit C, Section 2 for additional pet restrictions.

PLANTER BOXES, RAISED

- ❖ Raised landscape planter boxes may not be attached directly to common party walls of Adjacent Lots or walls adjacent to Common Areas or open spaces
- ❖ Raised landscape planter boxes may not exceed twenty-four (24) inches in height
- ❖ The planter must have its own wall adjoining common party walls with a minimum ½" air space between the walls
- ❖ The inside of all planter walls must be water-proofed to prevent water damage to walls

PLANTS

See Appendix "A" Approved Tree and Plant List

While the Approved Tree and Plant List contains many acceptable plant species, the best landscapes are those that use a limited number of species in appropriate mass planting applications. For example, a well-composed landscape plan that uses only six (6) or seven (7) different species in mass plantings with accents will likely be better than a random landscape plan that utilizes twenty (20) different plant species.

Consequently, the total number of different plant species allowed in the Front Yard zone is limited to ten (10) species per lot.

PLANT LIST

The Approved Tree and Plant List is organized by species type: accents, groundcovers, shrubs and trees. All plants proposed for installation must conform to the list of acceptable plants. The DRC may consider approving plants not on the list when an Owner makes a formal submittal of proposed species, growing habits and photos. Plant species listed on the Approved Tree and Plant List is subject to change.

PROHIBITED PLANTS

If a tree or plant is not listed on Appendix "A" Approved Tree and Plant List, then the tree or plant is not permitted.

PLAY STRUCTURES, SPORTS COURTS, AND EQUIPMENT

Play structures, sports courts and associated equipment shall be designed to minimize the aesthetic, noise, lighting and glare/heat impacts to adjacent properties and the view from public spaces. Play structures, sports courts and equipment including items such as swing sets, playhouses, jungle gyms, rope ladders, trampolines and slides must be approved by the DRC and will be reviewed on a case-by-case basis.

- ❖ Trees, shrubs and walls shall be placed to further screen the view of the equipment from common areas and neighboring properties
- ❖ All equipment must be maintained in an attractive manner
- ❖ Lighting associated with sports courts and equipment is prohibited.

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- ❖ While general criteria of these guidelines might be met by a proposed application, the DRC may refuse to approve the application if, in its sole discretion, it is determined that a significant negative impact would result

Play Structures

- ❖ These structures when above-ground are limited in height to nine (9) feet above the finish floor of the Home or adjacent grade (whichever is more restrictive)
- ❖ All play equipment must be screened from the Public View and screened from the view from Adjacent Lots
- ❖ All portions of the equipment that are Visible from Adjacent Lots must be located no closer than five (5) feet from a property line and a minimum of ten (10) feet from any view fence
- ❖ Play structures are not permitted to be structurally attached to a wall or to the main residence.

Sports Courts and Equipment

- ❖ Courts and equipment shall be placed to minimize adverse impacts to the users of adjacent property
- ❖ Large hardscape surfaces and courts should be designed to reduce sound and minimize glare/heat impacts
- ❖ Except for courts integrated with the motor court or driveway of the home, no courts are allowed in yards not enclosed by landscape or privacy walls and fences
- ❖ No courts are allowed in the front yard setback or the front face of the home
- ❖ All above-ground sports equipment including nets, posts, goals, and backboards must be screened from the Public View and the view from Adjacent Lots
- ❖ Building mounted equipment is prohibited.

Basketball Goals (Hoops) and Backboards

- ❖ No portable basketball goals or backboards may be kept or stored on a Lot to be visible from outside of structures on the Lot. Permanent basketball goals or backboards attached to a free-standing pole may be constructed, installed or maintained on a Lot, provided the location, design, material and color of the pole and basketball goal or backboard are approved by the DRC and they are used in accordance with the Guidelines and Association Rules, both of which may govern the hours of use and placement thereof.

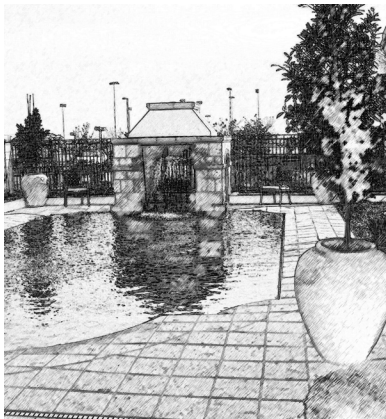
Portable Play Equipment

Equipment such as hockey goals and volleyball nets do not need approval but must be removed from Public View and the view of Adjacent Lots when not in use. Because this equipment must be removed when not in use, ease of mobility and portability should be considered when choosing equipment for the yard. Portable basketball hoops are not permitted in the front yard area.

POOLS AND SPAS

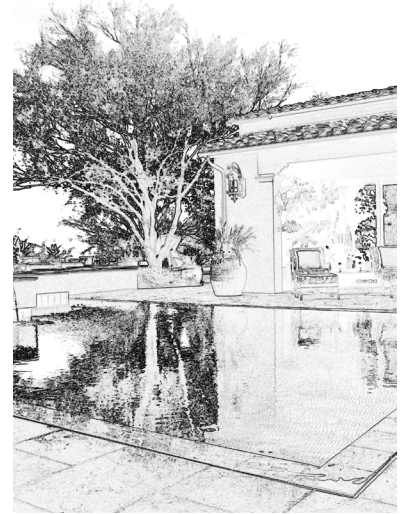
Pools and spas must be constructed in compliance with local regulations including those of Maricopa County and the City of Avondale. Building permits issued by the City of Avondale will be required for all swimming pools and spas. Pools are not permitted to be drained or backwashed into the adjacent street, adjacent open space, or adjacent properties. Follow the City of Avondale guidelines for a pool to be drained or backwashed into the sewer cleanout on the Lot. Any applicable regulations governing disposal of pool wastewater must be followed. All swimming pools and spas shall comply with all applicable codes and ordinances, including requirements for minimum fence heights and self-closing gates, doors, and windows. In addition, the following shall apply:

- ❖ All swimming pools and spas, hot tubs and similar or related water features are only allowed within enclosed



Rear Yards

- ❖ Pools and spas should be visually connected to the home through the use of landscape walls and hardscape
- ❖ The waterline of swimming pools and spas must be set back a minimum of three (3) feet from any property line and are not permitted within the front yard setback
- ❖ All swimming pools and spas shall be the in-ground type. above-ground swimming pools and spas may be permitted, if not visible from the neighboring properties, Common Areas and/or the street
- ❖ Children's portable wading pools of less than twelve (12) feet in diameter and less than twenty-four (24) inches in height are allowed in an enclosed Rear Yard and do not require design review approval
- ❖ All swimming pool and spa equipment including pumps, power sources and filters should be located in subterranean vaults or in areas screened by landscape walls. Above ground enclosures of this equipment must meet the Utility and Mechanical Equipment screening requirements of these Guidelines
- ❖ All pool equipment must be screened from view of streets, sidewalks and Common Areas by walls, a gate or other suitable screening method to a minimum height of twelve (12) inches above the equipment
- ❖ Pool and spa equipment must be a minimum of three (3) feet from a view fence and may not be Visible from Adjacent Lots
- ❖ Operable, non-reflective pool covers are allowed
- ❖ Decks or patios associated with a pool or spa must be set back a minimum of three (3) feet from any property line to allow for landscaping between the patio and the wall
- ❖ Access for pool construction will not be permitted across adjacent open space tracts or through Community walls



Pool Features

- ❖ Pool features, such as slides, rocks or waterfalls, that are six (6) feet in height or less (as measured from the primary finished floor level of the Residence) shall be located a minimum of three (3) feet from any property line

OWNER DESIGN GUIDELINES FOR ALAMAR

- ❖ Pool features greater than six (6) feet in height (as measured from the primary finished floor level of the Residence) require approval and must be located a minimum of ten (10) feet from any property line and are limited to a maximum of nine (9) feet in height

POTS AND PLANTERS

Portable pots, planters, and other elements that contain landscape or flowers are allowed within Front Yards provided that:

- ❖ Such pots are not larger than three (3) feet tall, three (3) feet wide
- ❖ Pots and planters should be selected to complement the architectural character of the Home and the landscape design
- ❖ Only plant material from the Approved Tree and Plant List (See Appendix "A") and from the applicable Landscape Theme may be used in pots and planters that are visible from the street or Common Areas
- ❖ Seasonal and perennial flowers that have a mature height of less than three (3) feet are allowed in pots and planters and do not have to be on the Approved Plant List



REFUSE CONTAINERS (TRASH AND RECYCLING)

Visual impact to neighboring properties and Common Areas should be considered in the placement of all refuse containers. Trash containers must be stored in the garage, or within enclosed Rear Yards that are screened from view from the street, or adjacent properties.

- ❖ No trash shall be placed or kept on any Lot except in covered containers of a type, size and style approved by the DRC.
- ❖ Trash and recycle containers shall only be visible from outside of structures on the Lot on the same day as collection services and then for the shortest time reasonable to effect trash collection.
- ❖ All trash shall be removed from Lots and shall not be permitted to accumulate.
- ❖ No outdoor incinerators shall be kept or maintained on any Lot.
- ❖ A solid landscape or privacy wall, matching the architecture of the Home with a minimum height of three (3) inches (twelve (12) inches encouraged) above the containers should be used to enclose the containers
- ❖ When gates are required, decorative gates that complement the architecture are encouraged
- ❖ Trash and recycling containers may not be stored in the front Yard, on a porch nor in the front courtyard of any Home

ROOFS

- ❖ Any modification to an existing roof mass or addition of a new roof mass will be reviewed by the DRC on a case-by-case and must match the style, character, massing, slope, form, geometry, overhang, fascias, soffits, details, materials and colors of the existing Residence. Oddly-configured or overly-complicated roofs will not be allowed.
- ❖ The DRC reserves the right to not approve any request for the addition of a roof mass or roof form that the DRC deems to be inappropriate in their sole opinion.

ROOF TERRACES

Roof terraces are not allowed. Second floor balconies and patios are allowed provided they are adjacent to livable interior space on the second level of the Home.

ROOFTOP EQUIPMENT

No heating, ventilating, air conditioning or evaporative cooling units or equipment related to may be mounted, installed, or maintained on any roof of any Residence or other building. See Community Charter for Alamar Exhibit C, Section 5 for additional restrictions.

SECURITY DOORS AND SCREEN DOORS

- ❖ Security doors and/or screen doors that are visible from the street or sidewalk shall match the character and architectural style of the Home
- ❖ Such doors shall be painted or stained an appropriate complementing color to the main body color of the Home or the front door
- ❖ No animal, plant, character, symbols, numbers, letters, pictorial graphic depictions are allowed on a security or screen door
- ❖ Perforated metal mesh used as a screen material shall be painted to match the color of the security or screen door. White, light, beige or tan screening material may be allowed based on the color of the door and existing color scheme of the home. No multi-colored screening material is allowed.

SETBACKS, LOT COVERAGE AND LOT JOINS

All setbacks are reviewed on the merits of the submitted site plan design. The setbacks should provide the limits of the building mass and movement in the wall planes is expected within these setbacks. The City Building Code may be more restrictive than the setbacks in these Guidelines for certain structures.

Front Yard Setback

The front Yard setback is determined on the plat. Consult with the Representative for your Lot's specific requirement.

- ❖ Landscape and retaining walls are permitted within the front Yard setback
- ❖ Privacy walls are not permitted in the front Yard setback
- ❖ Pot shelves, fireplaces, architectural pop-outs, style appropriate window boxes, decorative iron work, "Romeo and Juliet" balconies, and cantilevered balconies may be allowed to extend into the front Yard setback

Side Yard Setback

The side Yard setback in Alamar is determined on the plat. Consult with the Representative for your Lot's specific requirement.

- ❖ Walls are permitted on the property line, and the side Yard setback may be walled in as private space
- ❖ Pot shelves, fireplaces, architectural pop-outs, style appropriate window boxes, decorative iron work, "Romeo and Juliet" balconies, and cantilevered balconies may be allowed to extend into the side Yard setback

OWNER DESIGN GUIDELINES FOR ALAMAR

Rear Yard Setback

The Rear Yard setback in Alamar is determined on the plat. Consult with the Representative for your Lot's specific requirement.

- ❖ Pot shelves, fireplaces, architectural pop-outs, style appropriate window boxes, decorative iron work, "Romeo and Juliet" balconies, and cantilevered balconies may be allowed to extend into the rear Yard setback

Lot Coverage

- ❖ Lot Coverage is defined as the percentage of the Lot that is covered by the outermost limit of all roofs and building structures including the house, garage, covered outdoor spaces, and Accessory Structures. Lot Coverage does not include driveways, patios, walkways, pool and other uncovered hard surfaces.
- ❖ The maximum Lot Coverage is regulated by the specific zoning requirements of the City of Avondale for each parcel.
- ❖ Any proposed Addition, modification, Accessory Structure, or other improvement must comply with the Lot Coverage requirements of the City of Avondale including any unique standards established for Alamar.

Lot Ties

Lot Ties or Lot Joins, which combine two or more lots into one legal residential parcel, are not permitted.

SKYLIGHTS

Any use of skylights must be concealed from Public View.

SIDE GATE PATHWAYS

- ❖ Side gate paths can be added but must match driveway pavement or be better in appearance. Paver connection from concrete driveway is premitted, concrete path connection is not permitted.

SIGNS AND SIGNAGE

Posting of signs of any kind, permanent or temporary, (including, but not limited to posters, circulars, billboards, "For Rent," "For Lease," "For Sale," "Open House" and similar real estate signs) is strictly prohibited, except for those required by law. Professionally lettered "For Rent," "For Sale" or "Open House" signs may be displayed on the Lot being offered for lease, rent or sale that are in specific accordance with the following criteria for size, number, coloring, lettering and placement of signs. See Community Charter for Alamar Exhibit C, Section 15.

"For Sale," "For Rent" or "For Lease" Signs

- ❖ A maximum of one (1) Real Estate Sign may be placed only in the front yard or window of a property.
- ❖ Signs are not allowed in the Parkway Zone between the public sidewalk and the street. Signs are not permitted in community Common Areas.
- ❖ Signs may not project into a street, sidewalk or accessway; nor may they interfere with views and sight lines for vehicular traffic.

OWNER DESIGN GUIDELINES FOR ALAMAR

- ❖ Signs shall not be permitted on fences, site walls, courtyard walls or any portion of a structure located on the property.
- ❖ "For Sale," "For Rent" or "For Lease" signs may not exceed a height of four (4) feet six (6) inches above the adjacent grade
- ❖ The sign panel may not be larger than twenty-four (24) inches by thirty-six (36) inches

"Open House" Signs

- ❖ A maximum of one (1) "Open House" sign is allowed to be located on the Lot
- ❖ An "Open House" sign may only be displayed when such House is open for viewing by the public and such sign must be removed immediately after the House is no longer available for public viewing
- ❖ "Open House" signs may not be placed as to obstruct pedestrian traffic or interfere with views and sight lines for vehicular traffic
- ❖ "Open House" signs may be placed at the entrance to the neighborhood, at an intersection to provide directions to the Home and at the front of the Home (three (3) sign maximum)
- ❖ "Open House" signs may not have a sign panel larger than twenty-four (24) inches by thirty-six (36) inches
- ❖ "Open House" signs shall not exceed a height of thirty-six (36) inches above adjacent grade
- ❖ Lettering must be in proportion to the sign
- ❖ "Open House" signs are encouraged to be on A-frames
- ❖ Signs attached to or hung from common or theme walls are prohibited

Miscellaneous Signs

- ❖ Each Lot is allowed one security sign with a maximum size of six (6) by twelve (12) inches
- ❖ Security signs must be placed close to the home.
- ❖ Garage/Yard sale signs are allowed to be placed after sunset the night before the sale and must be removed by sunset the day of the sale. Garage/Yard sale signs must follow directional signage criteria
- ❖ When permitted for an open house, garage/Yard sale or special event, Directional signs are allowed to be placed at the entrance to the neighborhood, at an intersection to provide directions to the Home and at the front of the Home (three (3) sign maximum)
- ❖ Unless otherwise allowed by law, each Lot is permitted to post one political sign seventy one (71) days before an election and for three (3) days after the election
- ❖ Political signs may not be larger than twenty-four (24) by twenty-four (24) inches
- ❖ Signs attached to or hung from common or theme walls are prohibited
- ❖ The Association and DRC reserve all rights to create additional or modified signage criteria and signage design criteria in the future.

SOLAR PANELS, WIND TURNS, AND OTHER ALTERNATIVE ENERGY DEVICES

Placement

- ❖ See Community Charter for Alamar Exhibit C, Section 5.
- ❖ Solar panels, wind turns, and other alternative energy devices must be placed entirely within the property or Lot of the Owner. No device may encroach upon a Common Area, Right of Way, street, or property of another owner.
- ❖ Devices are not permitted within setback areas.

OWNER DESIGN GUIDELINES FOR ALAMAR

- ❖ A reserved location for roof mounted solar devices is required in the design of each home. Such areas shall be free of other roof vents and equipment and should allow solar devices to be arranged in a simple rectangular form. Such areas are not required to be structured to support solar devices.
- ❖ If devices can be placed in locations that are not visible or are less visible from Public View locating devices in such areas is strongly encouraged. Rear Yard locations, not facing the streets are encouraged.
- ❖ Devices located on sloped roofs that are visible from Public View or adjacent lots are to be arranged in a simple rectangular shape. Random and arbitrary layouts are discouraged unless they relate to the building forms and architecture.
- ❖ Planar Devices such as solar panels mounted on sloped roofs should be installed at the same slope as the roof plan they are attached to.
- ❖ The maximum height of devices (free standing or installed on roof planes) should be less than the maximum height of the building or the surface they are installed on (parallel to) by at least six (6) inches.
- ❖ Devices attached to building surfaces should be located so that the edge of the device is at least eight (8) inches from the edge of building surfaces (walls or roof planes) unless such placement enhances the architecture of the building in the sole opinion of the Reviewer.
- ❖ Street trees and park trees are vitally important to the Alamar Community as part of an urban forest, to reduce the heat island effect, to provide shade for pedestrian walkways, and to visually narrow the width of the roadways for traffic calming. As such, street trees in tracts, right-of-ways and parkways and park trees are maintained by the Association and may not be trimmed, pruned or otherwise altered by homeowners for their own personal gain or the improvement of their private devices.
- ❖ The installation of a Device does not eliminate or remove any of the landscape or other requirements outlined in these Guidelines. Non-functioning devices are not permitted unless they complement the architecture of the building.

Installation

- ❖ All/any exposed metal on Devices visible from Public View or adjacent lots shall match the color and finish of the metal selected for the main building. Dark bronze or black finishes are preferred.
- ❖ Planar Devices (such as solar panels) should be placed as close as possible to the existing surface of the building. On surfaces with added or built-up surfaces (such as a tile roof) the built up surface should be removed to allow the Device to be mounted as close as possible to building surface.
- ❖ All conduits, wiring, piping and similar elements must be located internal to the building they are attached to, or underground if Device is freestanding/ground mounted. The connection between such Devices and the building or ground should be visually minimized by color and placement.
- ❖ All ground mounted Devices shall be considered Utility and Mechanical Equipment and must be screened from Public View as required by these Guidelines.
- ❖ All disconnect switch boxes, disconnect boxes, meter boxes, or other appurtenance when attached to the building should be painted to match the surface they are mounted to.

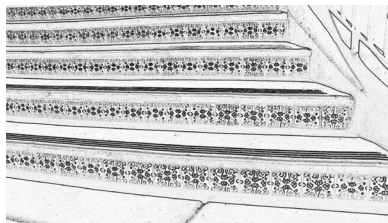
OWNER DESIGN GUIDELINES FOR ALAMAR

- ❖ Roof mounted storage tanks are not permitted. Ground mounted/free standing tanks shall be considered Storage Tanks and must be screened from Public View as required by these Guidelines.

Maintenance

- ❖ The Device must be installed and maintained in good repair and aesthetically “like new” condition. Any visual sign of wear or fading must be replaced or repaired.
- ❖ If the Device becomes broken or non-functional for a period longer than twelve (12) consecutive months, the owner may be required to remove the device and repair the building to comply with these Guidelines.

STAIRS



Outdoor stairs must be integrated into the architecture of the Home and should not appear as a ‘tacked on’ element.

- ❖ Stairs that are exposed to Public View should use solid risers and be enclosed by a solid wall
- ❖ Metal stairs and exterior spiral stairs are not allowed

STAND-ALONE STRUCTURES

Stand-alone structures including but not limited to a Guest House, cabana, pool house, detached garage, green house, shade structure, storage shed, or other structure must be designed as a visual element integrated with all existing and proposed structures. The DRC reserves the right to approve or not approve a stand-alone structure in its sole discretion based on location, scale, and proportion. It is the DRC’s judgment as to whether a stand-alone structure is considered a major or minor Addition, Modification, or Improvement.

- ❖ Stand-alone structures should be located in the side or rear of the Lot and may be restricted by Lot setbacks
- ❖ All structures must meet the setback criteria
- ❖ Stand-alone structures must either be attached to the main structure or be separate from the main structure by at least ten (10) feet
- ❖ Stand-alone structures must meet fire code regulations
- ❖ Stand-alone structures must be consistent with and complement the architectural style of the home
- ❖ The maximum allowed height for any such structure is twelve (12) feet above the primary finished floor elevation of the Home unless designed as an architectural equivalent/addition to the main house.

STORAGE BUILDINGS AND SHEDS

Storage sheds or Accessory Buildings used for storage, which exceed the height of any adjacent walls or fences, must be submitted for review and approval. The location, height, size and placement of all storage and Accessory Buildings are in the sole discretion of the DRC. The DRC reserves the right to not approve a storage-related structure that in its sole discretion it feels is too large or oversized for the proposed Lot or location. It is the Homeowner’s responsibility to obtain all necessary permits including local, state, and federal approvals and to adhere to all code requirements. All storage related buildings shall meet the setbacks required by these Guidelines and the City of Avondale, which may vary depending on lot size. Storage buildings and sheds shall

OWNER DESIGN GUIDELINES FOR ALAMAR

be constructed of materials that are architecturally compatible with the Residence, including color, materials, style, and character

- ❖ All such structures are limited to locations within enclosed Rear Yards
- ❖ Storage related structures shall not exceed eighty (80) square feet in area under roof and may not exceed a height of eight (8) feet
- ❖ No storage related structure shall be located within fifteen (15) feet of a view fence
- ❖ Air supported structures are prohibited

Unenclosed Exterior Storage

Unenclosed exterior storage areas must be within a Rear Yard and such storage may not be higher than the fence nor shall such storage be visible from Adjacent Lots. Such storage must be screened from Public View.

STORAGE TANKS

All fuel tanks, water tanks or similar storage facilities, if any, shall be screened from view from Adjacent Lots.

- ❖ See Community Charter for Alamar Exhibit C, Section 1.
- ❖ On-site storage of gasoline, heating or other fuels, for purposes other than the operation of lawn mowers, barbecue grills, fire elements, outdoor spas or Yard maintenance tools and equipment, is not permitted
- ❖ Such tanks do not exceed a capacity of twenty (20) gallons
- ❖ Shall not be visible from Adjacent Lots
- ❖ Water storage tanks may be installed below finished grade of the Lot

TILE SURROUNDS

Decorative tile surrounds are encouraged (around doorways, windows and/or portals) on appropriate styles, but must not dominate the house and are subject to prior approval by the DRC>

UTILITY AND MECHANICAL EQUIPMENT

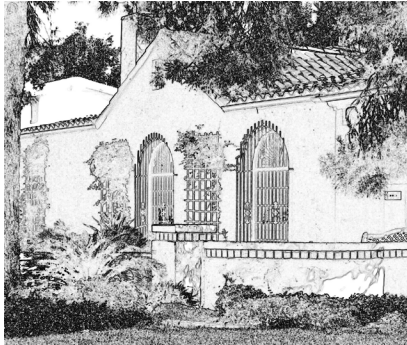
Sound and visual impact to neighboring properties and Common Areas should be considered in the placement of all mechanical (pool, AC & HVAC) and utility equipment.

- ❖ All mechanical equipment shall be screened from off-site views
- ❖ This equipment should be placed in accessible but inconspicuous locations
- ❖ A solid landscape or privacy wall, matching the architecture of the Home with a minimum height of twelve (12) inches above the equipment should be used to enclose the equipment
- ❖ When gates are required, decorative gates that complement the architecture are encouraged
- ❖ Utility and Mechanical Equipment (AC & HVAC) are not permitted on the roof of a building

VEGETATION BARRIERS

- ❖ Polyethylene film under landscape areas is not permitted
- ❖ A pre-emergent herbicide is required beneath all decomposed granite

WALLS AND FENCES



Within Alamar, walls and fences shall be designed as architecture elements, enclosing spaces in ways that echo the architecture of the Home into the landscape. Walls and fences should be placed and massed to complement the design of the Home, avoiding long, straight, undifferentiated runs. To provide an open and welcoming feeling to the home, walls should be low and transparent when viewed from the street or public spaces.

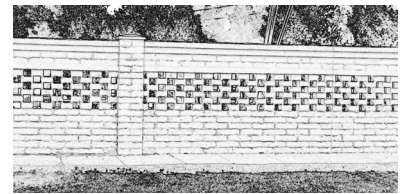
❖ Wall should be formal expressions in the landscape, and generally will not be allowed to be placed randomly

- ❖ Walls should terminate into architectural masses; when this is not possible, walls should end in columns or thickened edges
- ❖ The tops of walls and fences generally shall not slope, but rather step at changes in the massing or turns in the wall where changes in height can more easily be hidden
- ❖ Walls and fences should be built of materials and with colors that relate to the architecture and style of the Home
- ❖ Changes in materials or color must be made at inside corners

❖ Acceptable wall and fence designs include:

- Concrete block with stuccoed and painted surfaces
- Honed, etched, stained and sandblasted exposed concrete block
- Split-faced block
- Colored and textured poured-in-place concrete walls
- Brick, stone or slump block
- Ornamental iron fences
- Wood, split rail and chain link fences are prohibited on any Lot
- “Dooley wall” fence block is prohibited facing any street, including streets adjacent to side Yards

- ❖ Pre-manufactured wall and fence systems and four (4) inch pilaster fences are generally not acceptable, but will be reviewed as to their appropriateness to the architecture and site surroundings
- ❖ View fences must be painted an approved accent color and may not be painted the same color as the adjacent wall color or body color of the Home
- ❖ Wire or metal mesh may not be placed over a view fence without approval of the Reviewer
- ❖ Swimming pool enclosures shall meet local safety ordinances
- ❖ Walls must not impede the flow of drainage



Landscape Walls

Landscape walls are low walls used to define space open to Public View. These walls are intentionally low and allow the public to see the activity behind the wall, while providing a distinct separation of uses.

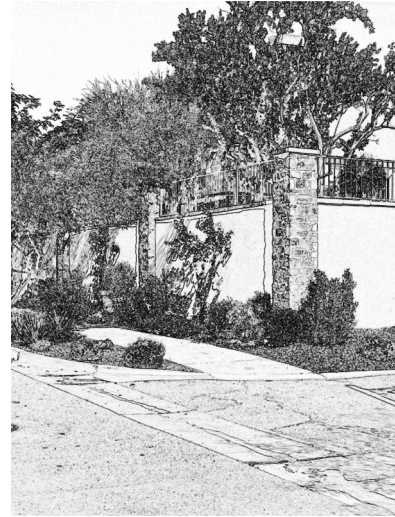
OWNER DESIGN GUIDELINES FOR ALAMAR

- ❖ Landscape walls are limited to forty-two (42) inches in height as measured from the finish grade on the inside of the wall, (the enclosed space)
- ❖ These walls can be used in the front Yard setback, but are encouraged to be set back a minimum of two (2) feet from the sidewalk
- ❖ Landscape walls may incorporate view fence elements on top of the wall to extend the height of the enclosure without dramatically affecting the visual openness
- ❖ Within the front yard setback, the total height of the combined enclosure (landscape wall with view fence on top) will continue to be limited to forty-two (42) inches, and in the other setbacks it will be generally limited to six (6) feet
- ❖ View fences on top of landscape walls must terminate in columns, privacy walls or architectural masses that extend at least six (6) inches above the top of the fence
- ❖ Landscape walls are generally not allowed to follow property lines, and must be used to enclose “outdoor rooms” as an extension of the architecture of the Home into the landscape
- ❖ Landscape walls that extend the entire length of the street will not be permitted
- ❖ Low gates or arbors may be used as entrances into spaces enclosed by landscape walls

Retaining Walls

Retaining walls are used to transition grade. The wall is used to hold back earth.

- ❖ These walls are limited to four (4) feet of height as measured by the difference in grade between sides of the wall
- ❖ These walls must extend a minimum of six (6) inches above the grade on the high side of the wall
- ❖ Landscape, common or privacy walls may be constructed on top of retaining walls, and their height will continue to be limited as measured from the grade on the high side of the wall
- ❖ When retaining walls are topped with other walls, the two (2) walls must appear seamless in elevation, or be offset a minimum of three (3) feet to allow for a planter bed between the walls
- ❖ Walls incorporating retaining walls, and their associated footings, must be set back a distance equal to their height (as viewed from the street or public space) from the sidewalk and property line (whichever is more restrictive). For example, a three (3) foot landscape wall on top of a three (3) foot retaining wall must be set back six (6) feet from the sidewalk, and its foundation must not extend out in front of the wall
- ❖ Retaining walls are not allowed to slope with grade and must make transitions to the height of the top of the wall by jogging the wall in plan
- ❖ Retaining walls must be designed to resist water damage to the wall; such designs may include waterproofing, weep holes and foundation drainage



Privacy Walls

Privacy walls are walls generally more than fifty (50) percent solid used to enclose “private” areas of the Lot.

OWNER DESIGN GUIDELINES FOR ALAMAR

- ❖ Privacy walls are generally limited to six (6) feet in height but may be allowed to be used in combination with retaining walls to a maximum height of nine (9) feet with approval
- ❖ Long lengths of wall must jog in plan or incorporate other architectural elements to provide an interesting built statement to the neighborhood
- ❖ The top of wall height for privacy walls should avoid stepping without changes in the direction of the wall
- ❖ Privacy walls must return to the house at a point no closer than five (5) feet from the front face of the Home and in the rear third of the building mass on homes on corner lots (with frontage on two (2) streets) or on lots adjacent to open space.
- ❖ Privacy walls may tie into Community Walls along entry drives at a point two (2) feet behind the end of the wall.
- ❖ Privacy walls are not allowed in the front Yard setback
- ❖ Front Yard facing wall surfaces must match the architectural character of the residences
- ❖ If the style of the front Yard facing walls differ in character in response to the architectural style of adjoining residences, these walls should be offset by at least two (2) feet
- ❖ Privacy walls abutting exterior Community Walls may not be taller than the Community Wall
- ❖ The privacy wall must begin six (6) inches (minimum) below top of the Community Wall; it may step up one course per six (6) feet horizontally, to the desired height

Picket Fences/Trap Fences

Picket Fences and Trap Fences are used to provide a social separation between the public sidewalk and private front Yards. These fences may also be used to keep small animals and children restricted to the Yard.

- ❖ Front Yard fences taller than thirty-six (36) inches are not permitted
- ❖ Materials for trap fences include tubular steel, wrought iron, aluminum and flat bar metal or painted and treated lumber wood
- ❖ A minimum 50% transparency is required for all front Yard picket fences
- ❖ Materials used for fencing shall be consistent with the architectural character of the Lot
- ❖ Wooden picket fences are permitted but will require maintenance to offset seasonal wear
- ❖ Vinyl fencing is not permitted
- ❖ Low hedges are encouraged in lieu of fencing
- ❖ Entry defining features such as columns and pilasters are permitted, but may not be taller than forty-eight (48) inches
- ❖ Fences should be set back a minimum of two (2) feet from the sidewalk

Common Walls

Common walls are privacy (or other type) walls built on property lines shared between two (2) Adjacent Lots.

- ❖ See Community Charter for Alamar Section 7.4.
- ❖ These walls are to be constructed on the centerline of the property line and must generally follow the property line
- ❖ These walls must follow the Guidelines established for privacy walls
- ❖ When an Adjacent Lot has already constructed a common wall along a property line perpendicular to the street, the second Homeowner must offset their connecting (or return) wall two (2) feet from the existing face of the wall parallel to the street; this wall

OWNER DESIGN GUIDELINES FOR ALAMAR

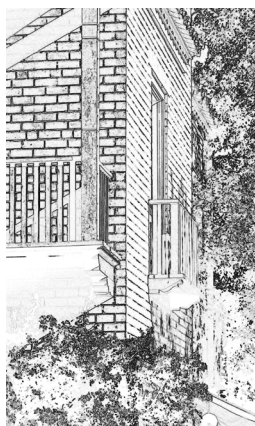
may be offset two (2) feet in front of the existing wall if it still returns no closer than five (5) feet from the front face of the Home

Community (Theme) Walls

Community (theme) walls are walls that are designed and installed by the Developer (or Builder) with the Community theme.

- ❖ See Community Charter for Alamar Section 7.5.
- ❖ These walls are not allowed to be altered by the Homeowner
- ❖ Temporary removal of these walls will not be allowed for construction access

WALLS, EXTERIOR



Exterior Wall Finishes

- ❖ Material and color changes should occur at inside corners, vertical breaks or where horizontal breaks occur
- ❖ Stucco (a medium sand finish with a maximum grain size of 30/30) shall be the primary wall finish
- ❖ Other materials such as exposed masonry (brick, slump, block), cement plank siding and board and batten siding are encouraged as appropriate to style
- ❖ Accent materials such as stone, brick, adobe, and brick veneers are encouraged
- ❖ "Spanish Lace" stucco finishes are not allowed

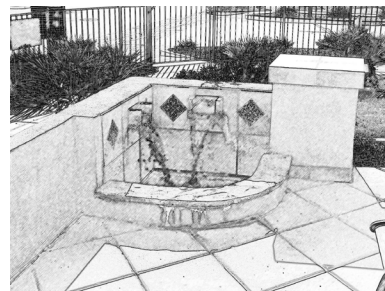
WALKWAYS AND SIDEWALKS

Unless otherwise approved by the DRC, sidewalks and walkways in a Front Yard may not exceed five (5) feet in width.

WATER FEATURES - FOUNTAINS, WATERFALLS, PONDS, REFLECTING POOLS

Outdoor water features such as fountains, waterfalls, ponds and reflecting pools should:

- ❖ Complement the architecture of the Home
- ❖ Be integral to the design of the landscape in form and scale
- ❖ Outdoor water features should not be placed in isolation in the landscape
- ❖ They should be placed in settings that enhance the quality of outdoor living spaces
- ❖ Water feature equipment including pumps, power sources and filters should be located in subterranean vaults or in areas screened by landscape walls
- ❖ Above ground enclosures of this equipment must meet the Utility and Mechanical Equipment screening requirements of this section of these Guidelines
- ❖ Electrical cords and water lines must be underground or screened from Public View
- ❖ All water features must be equipped with recycling water systems



OWNER DESIGN GUIDELINES FOR ALAMAR

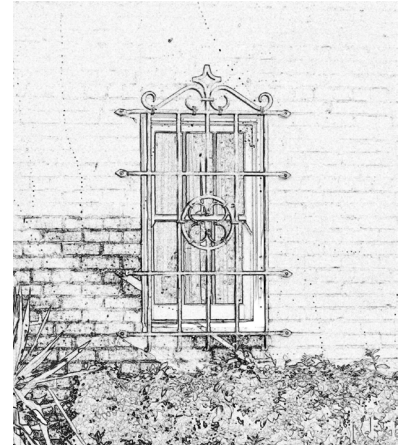
- ❖ All water features must have a max height of five (5) feet (from grade floor finish of the Home) to the top of the water spray
- ❖ The features should be located in courts or Yards enclosed by walls, fences, a landscape screen or hedges

WINDOWS

Window size, placement, shape, trim color, lintels, and sills must be consistent with the architectural style of the Home and should be used to accent windows.

Security

Security devices, which are visible from the street or sidewalk, including without limitation, “burglar bars” for windows and doors, are not permitted. Exterior roll-down security devices are prohibited. Decorative iron work may be approved if appropriate to the style of the Home.



Window Coverings

- ❖ Within one hundred and twenty (120) days of occupancy, each Owner of a Residence shall install permanent window treatments on all windows visible from outside of structures on the Lot.
- ❖ No reflective materials, including, but without limitation, aluminum foil, reflective screens or glass, mirrors or similar items are permitted.
- ❖ No sheets, bedding or similar items shall be installed or placed upon the exterior or interior of windows of a Residence, without prior DRC approval.
- ❖ See Community Charter for Alamar Exhibit C, Section 10.

WINDOW SHADES, AWNINGS, CANOPIES AND SOLARSCREENS

Awnings, canopies, and retractable window shades of any type must be approved by the DRC prior to installation. The design, color and style must blend with the design, color, and authentic architectural style of the Home.

- ❖ Roll-up security shades/shutters are not permitted on the exterior of the Home.

Solar Shade Screens

- ❖ The frame of the solar screen may not be larger than the frame of the window.
- ❖ The color of the solar screen frame must match the color of the window frame to which it is attached.
- ❖ Shade screens over windows with divided lines shall incorporate mullions in the screen to match the window pattern.
- ❖ The screen fabric must be black, dark brown or dark bronze in color. No light, white, cream, tan, beige or colorful screen fabric is allowed.
- ❖ The solar screen or its frame shall not overlap stucco or other window trim elements. All solar shade screens shall be maintained in an attractive manner at all times. If the screen becomes torn, ripped, broken, bent, unfastened, dilapidated or otherwise unsightly, the Homeowner shall immediately remove or replace the screens.

OWNER DESIGN GUIDELINES FOR ALAMAR

Awnings and Canopies

- ❖ Fabric awnings and canopies are not permitted.
- ❖ Awnings that complement or are authentic to the architectural style of the home are encouraged. Awning materials and colors should be complementary to the exterior color scheme of the home.
- ❖ All awning and canopy patterns are subject to review and approval by the DRC.
- ❖ Awnings and Canopies shall be maintained in good operational order and obvious discoloration or disrepair shall require prompt replacement.

Chapter 4

DEFINITION OF TERMS

CHAPTER 4

DEFINITION OF TERMS

ACCESSORY BUILDINGS

“Accessory Buildings” shall refer to any structure detached from the main Home.

ADDITION, MODIFICATION, OR IMPROVEMENT

“Addition, Modification or Improvement” shall refer to any changes, Modifications or Additions to a Lot after its Original Construction, including any excavation, Cut, Fill, buildings, outbuildings, roads, driveways, parking areas, walls, retaining walls, stairs, gates, patios, courtyards, pools, spas, landscaping, exterior lighting, poles, signs, exterior art or sculptures, and any structure or other Improvement of any type or kind.

ADJACENT LOT

“Adjacent Lot” shall refer to any Lot that shares a common boundary with the subject Lot, as well as any Lot that is located directly across a street or across a Common Area open space less than fifty (50) feet wide.

APPLICANT

“Applicant” shall refer to the specific individual person identified as the Applicant on the application form submitted to the Design Review Committee as the Applicant to whom all design review correspondence shall be addressed.

APPROVAL

“Approval” shall be defined as: All references in the Governing Documents to “consent” or “approval” shall refer to permission or approvals, which unless otherwise expressly qualified in the specific provision, may be granted, or withheld in the discretion of the Person whose consent or approval is required.

APPROVED TREE AND PLANT LIST

“Approved Tree and Plant List” shall be defined as: The listing of the plant material identified by botanical and common name, designated by the Reviewer or Design Review Committee as acceptable for use on Lots within Alamar, including any amendments that may be made.

ARCHITECTURAL GUIDELINES

“Architectural Guidelines” shall be defined as: The design standards and architectural and aesthetics guidelines outlined and adopted herein pursuant to Chapter 6 of the Community Charter for Alamar, as they may be amended, which govern new construction and Modifications to Homes, including structures, landscaping, and other Improvements.

ASSOCIATION

The “Association” shall be defined as: Alamar Community Association, Inc., its successors and assigns pursuant to Chapter 2 of the Community Charter for Alamar.

BUILDER

The “Builder” shall be defined as: The Persons who purchase one or more unimproved lots or parcels of land within Alamar for further subdivision or development and resale in the ordinary course of their business. Builder shall also be defined as the person or entity who constructed the initial Home on the Lot.

CITY

“City” shall refer to the City of Avondale.

COMMON AREA

“Common Area” shall be defined as: Any property and facilities that the Association owns or in which it otherwise holds possessory or use rights for the common use or benefit of more than one Unit. The Common Area also includes any property that the Association holds under a lease; except that Common Area shall not include any Lot or Parcel the Association acquires by the foreclosure of the Assessment Lien or by any deed in lieu of foreclosure.

COMMUNITY

“Community” shall be defined as: The master planned area known as Alamar.

COMMUNITY ASSOCIATION

See “Association.”

CONTRACTOR

“Contractor” shall be defined as a person or entity engaged by an Owner, including the Owner acting as Contractor, for the purposes of constructing any Improvement on the Owner’s Lot.

CUT

“Cut” shall be defined as the removal of soil, rock, or other earthen materials to create a finished grade that is lower than the existing grade.

DESIGN GUIDELINES

“Design Guidelines” shall refer to the contents of this document (these Guidelines, these Design Guidelines) and amendments to it.

DESIGN INTEGRITY

“Design Integrity” shall refer to integrating the following elements into a design: scale, proportion, balance, color, texture, shade/ shadow, visual strength, material integration, appropriateness and artistic endeavor as defined within these Guidelines.

DESIGN REVIEW

“Design Review” shall refer to the act of reviewing a design submission or any other review required by the Reviewer or Design Review Committee pursuant to these Guidelines.

DESIGN REVIEW COMMITTEE

The “Design Review Committee” or “DRC” shall be defined as outlined in Chapter 6 of the Community Charter for Alamar

DESIGN REVIEW COMMITTEE REPRESENTATIVE

The “Design Review Committee Representative” or “Representative” shall refer to the individual(s) appointed by the Board or DRC to represent the DRC.

DESIGN REVIEW PROCESS

“Design Review Process” shall be defined as: The process and act of reviewing by the Design Review Committee.

EXCAVATION

“Excavation” shall refer to any disturbance of the surface of the land, except to the extent reasonably necessary for planting of approved vegetation, including trenching or any grading of the surface.

FILL

“Fill” shall be defined as: Any addition of soil, rock, or other earthen materials to the surface of the land that increases the elevation of a surface above its pre-existing state.

FINAL DESIGN SUBMISSION

“Final Design Submission” shall be defined as: All drawings and information required as per these Guidelines to be submitted to the Design Review Committee and shall include all documents required for any City of Avondale submissions.

GUEST HOUSE

“Guest House” shall refer to a free-standing building structure separate from the main residence that includes sleeping accommodations for one (1) or more guest(s).

HOME (HOUSE)

“Home” shall be defined as: The primary building constructed on a Lot inclusive of any attached garage(s) used for residential purposes.

HOME BUILDER

See “Builder.”

HOME SITE

“Home Site” shall be defined as: The Lot on which a Home is located.

HOMEOWNER

See “Owner.”

IMPROVEMENT

“Improvement” shall be defined as: All site work, landscaping, structures, enhancements, and other items placed on a Unit in a manner or location visible from outside of any existing structures of the Unit. “Improvement” shall also mean: (a) a Residence or other building; (b) a fence or wall; (c) a swimming pool, tennis court, basketball goal, backboard or apparatus or playground equipment; (d) a road, driveway or parking area; (e) a tree, plant, shrub, grass or other landscaping enhancement of any type and kind (other than regular maintenance); (f) a statuary, fountain, artistic work, craft work, figurine or ornamentation of any type or kind; and (g) any other structure of any type, kind or nature.

LOT

“Lot” shall be defined as: Any separately owned unit of real property within Alamar that is identified as a Lot on a recorded subdivision plat or as a Unit on a recorded condominium map.

LOT OWNER

See “Owner.”

MAINTENANCE

“Maintenance” shall be defined as: Maintenance, repair, rehabilitation, and renewal.

MASTER DEVELOPER OR DEVELOPER

“Master Developer” or “Developer” shall mean Brookfield Residential (Arizona) LLC.

ORIGINAL CONSTRUCTION

“Original Construction” shall refer to the materials, colors, methods, details, styles, applications, techniques, and appearance of the construction of the Home and other Improvements at the time of initial completion of the Home by the Home Builder or individual Owner.

OWNER - HOMEOWNER

See Chapter 3.3 of the Community Charter for Alamar

PERSON

“Person” shall refer to an individual, a corporation, partnership, limited liability company or any other legal entity.

PUBLIC VIEW

“Public View” shall refer to the view of the Lot and/or House from adjacent streets or Common Areas. “Public” refers to anyone using or in the streets or Common Areas of Alamar. This includes the view from open space corridors and from the surrounding neighborhoods. This view is to be considered from a height of three (3) feet to six (6) feet above the finish grade of the viewing area.

STYLE

“Style” shall be defined as: The specific architectural character as defined by this document for the design of individual Homes and all walls, structures, landscape, and other Improvements related thereto.

STREET TREE

“Street Tree” shall be defined as: The tree(s) are installed by the Association. As such, street trees in tracts, right-of-ways and parkways and park trees are maintained by the Association and may not be trimmed, pruned or otherwise altered by homeowners for their own personal gain or the improvement of their private devices.

VISIBLE

“Visible” shall describe an object or activity on a Lot that is or would be visually accessible (without the use of artificial site-enhancing devices) in any line of sight from any point originating between three (3) and six (6) feet above any other property, including other Lots.

YARD

“Yard” shall refer to an area within the Lot that is outside the building footprint and is composed of an arrangement of ornamental planting, hardscape and furniture and may include water features.

APPENDIX “A”

APPROVED TREE AND PLANT LIST

Appendix A Approved Tree and Plant List

Trees:			
	Botanical Name	Common Name	Size (H x W)
Evergreen Trees	<i>Acacia aneura</i>	Mulga	15'x15'
	<i>Acacia farnesiana</i>	Sweet Acacia	25' x 15'
	<i>Acacia salicina</i>	Willow Acacia	40' x 20'
	<i>Acacia saligna</i>	Coolibah/ Weeping Wattle	25' x 25'
	<i>Acacia stenophylla</i>	Shoestring Acacia	40' x 30'
	<i>Caesalpinia cocalaco 'Smoothie'</i>	Cascalote, Smoothie	18' x 18'
	<i>Dalbergia sissoo</i>	Indian rosewood	50' x 50'
	<i>Ebenopsis ebano</i>	Texas Ebony	30' x 20'
	<i>Eucalyptus microtheca 'Blue Ghost'</i>	Coolibah Tree 'Blue Ghost'	40' x 30'
	<i>Eucalyptus papuana 'Ghost Gum'</i>	Coolibah Tree, 'Ghost Gum'	40' x 25'
	<i>Olea europeaea 'Swan Hill'</i>	Olive Tree, Swan Hill (Fruitless)	35' x 25'
	<i>Olea europeaea 'Wilsonii'</i>	Olive Tree, Wilson's (Fruitless)	30' x 25'
	<i>Olneya tesota</i>	Ironwood	35' x 30'
	<i>Pinus eldarica</i>	Afghan Pine	50' x 20'
	<i>Pinus halepensis</i>	Aleppo Pine	50' x 20'
	<i>Quercus virginiana 'Cathedral'</i>	Southern Live Oak	50' x 50'
	<i>Quercus virginiana 'Heritage'</i>	Southern Live Oak, Heritage	50' x 50'
	<i>Sophora secundiflora</i>	Texas Mountain Laurel	25' x 15'
Deciduous Trees	<i>x Chitalpa tashkentensis</i>	Chitalpa Tree	30' x 30'
	<i>Chilopsis linearis 'Art's Seedless'</i>	Desert Willow, Seedless	25' x 25'
	<i>Fraxinus p. lanceolata. x Fraxinus v. glabra 'Fan-West'</i>	Fan West Ash	35' x 35'
	<i>Fraxinus velutina "Fan tex"</i>	Fan Tex Ash	35' x 35'
	<i>Parkinsonia microphylla</i>	Foothills Palo Verde	30' x 30'
	<i>Parkinsonia praecox</i>	Palo Brea	30' x 30'
	<i>Parkinsonia florida</i>	Blue Palo Verde	30' x 30'
	<i>Parkinsonia x 'Desert Museum'</i>	Palo Verde 'Desert Museum'	30' x 30'
	<i>Parkinsonia x 'Sonoran Emerald'</i>	Palo Verde 'Sonoran Emerald'	30' x 30'
	<i>Pistacia x 'Red Push'</i>	Red Push Pistache	40' x 40'
	<i>Prosopis chilensis</i>	Chilean Mesquite	40' x 40'
	<i>Prosopis glandulosa 'AZT'</i>	Mesquite, AZT Podless Hybrid	40' x 40'
	<i>Prosopis x hybrid "Thornless"</i>	Thornless Mesquite	30' x 30'
	<i>Prunus cerasifera</i>	Flowering Plum, Purple Leaf	20' x 20'
	<i>Ulmus parvifolia spp.</i>	Chinese Elm	40' x 40'
	<i>Vitex agnus-castus</i>	Chaste Tree	20' x 20'
Palms	<i>Arecastrum romanzoffianum</i>	Pindo Palm	30' x 20'
	<i>Bismarckia nobilis</i>	Bismark Palm	40'x 20'
	<i>Brahea armata</i>	Mexican Palm	30' x 20'
	<i>Phoenix canariensis</i>	Canary Island Date Palm	60' x 40'
	<i>Phoenix dactylifera</i>	Date Palm	50' x 30'
	<i>Washingtonia robusta</i>	Mexican Fan Palm	100' x 15'

OWNER DESIGN GUIDELINES FOR ALAMAR

Shrubs:

Semi-Evergreen Shrubs	Botanical Name	Common Name	Size (H x W)
	Caesalpinia gilliesii	Yellow Bird of Paradise	6' x 5'
	Calliandra californica	Baja Fairy Duster	5' x 5'
	Calliandra eriophylla	Fairy Duster	3' x 4'
	Cordia parvifolia	Little Leaf Cordia	6' x 6'
	Dalea frutescens	Black Indigo Bush	3' x 4'
	Hamelia patens	Firecracker Bush	4' x 4'
	Justicia californica	Chuparosa	4' x 4'
	Tecoma stans	Yellow Bells	10' x 8'
Evergreen Shrubs	Botanical Name	Common Name	Size (H x W)
	Baccharis x 'Starn' Thompson	Desert Broom, Starn	3' x 4'
	Bougainvillea spp	Bougainvillea	8'x8'
	Callistemon citrinus 'Little John'	Little John Bottlebrush	3' x 5'
	Cordia boissieri	Texas Olive	10' x 10'
	Dalea pulchra	Indigo Bush	4' x 5'
	Dodonaea viscosa	Hopseed Bush	10' x 8'
	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	12' x 6'
	Duranta erecta	Golden Dewdrop	6' x 10'
	Duranta repens	Skyflower	8' x 10'
	Eremophila hygrophana 'Blue Bells'	Blue Bells Emu Bush	3' x 3'
	Eremophila maculata 'Valentine'	Valentine Bush	4' x 5'
	Eremophila racemosa	Easter Egg Emu Bush	6' x 6'
	Hibiscus	Hibiscus	5-8' x 4-5'
	Justicia spicigera	Firecracker Plant	3-4' x 5-6'
	Lantana camara	Bush Lantana	3' x 3'
	Lantana x 'New Gold'	New Gold Lantana	3' x 3'
	Larrea tridentata	Creosote Bush	6' x 6'
	Leucophyllum candidum	Violet Silver Leaf Sage	5' x 5'
	Leucophyllum candidum 'Silver Cloud' or	Silver Cloud Sage	4' x 4'
	Leucophyllum frutescens	Texas Ranger	8' x 8'
	Leucophyllum frutescens 'Compacta'	Texas Ranger, Compact variety	5' x 5'
	Leucophyllum laevigatum	Chihuahuan Sage	5' x 6'
	Leucophyllum x 'Heavenly Cloud'	Heavenly Cloud Sage	6'-8' x 6'
	Leucophyllum zygophyllum 'Cimarron'	Cimarron or Blue Ranger Sage	3' x 3'
	Myrtus communis 'Compacta'	Dwarf Myrtle	5' x 4'
	Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	6' x 4'
	Rosa spp.	Rose Shrubs	4' x 2-3'
	Rosmarinus officinalis	Upright Rosemary	4' x 3'
	Ruellia brittoniana	Purple Ruellia or Mexican Petunia	3-6' x 3-6'
	Ruellia peninsularis	Desert Ruellia/Baja Ruellia	4' x 4'
	Russelia equisetiformis	Coral Fountain Grass	4' x 4' - 6'
	Senna artemisioides	Silver Cassia	6' x 6'
	Simmondsia chinensis	Joboba	10' x 10'
	Sophora secundiflora	Texas Mountain Laurel	20' x 15'
	Tecoma spp.	Yellow Bells	10'x 10'
	Tecomaria capensis	Cape Honeysuckle	6' x 5'
	Teucrium fruticans	Bush or Shrubby Germander	4' x 5'

Cacti and Succulents:

Cacti and Succulents	Botanical Name	Common Name	Size (H x W)
	Agave americana varieties	Century Plant	3' x 5'
	Agave desmettiana	Smooth Agave	3' x 4'
	Agave geminiflora	Twin-flowered Agave	1' x 3'
	Agave parryi huachucensis	Parry's Agave	2' x 3'
	Agave victoriae-reginae	Queen Victoria Agave	1' x 2'
	Agave vilmoriniana	Octopus Agave	4' x 5'
	Agave weberii	Weber's Agave	5' x 6'
	Aloe 'Blue Elf'	Blue Elf Aloe	1' x 2'
	Asclepias subulata	Desert Milkweed	4' x 4'
	Cereus hildmanianus	Hildmann's Cereus	10' x 4'
	Dasyliirion acrotrichum or texanum	Desert Spoon (Green Foliage)	4' x 4'
	Dasyliirion wheeleri	Desert Spoon (Silver Foliage)	5' x 5'
	Echinocactus grusonii	Golden Barrel	1' x 1'
	Euphorbia antisyphilitica	Candelilla	3' x 2'
	Euphorbia rigida	Gopher Plant	3' x 4'
	Euphorbia tirucalli	Firesticks	5' x 4'
	Ferocactus spp.	Barrel Cactus species	3' x 1'
	Hesperaloe funifera	Giant Hesperaloe	5' x 5'
	Hesperaloe parviflora 'brakelight'	Brakelight Red Yucca	2' x 4'
	Nolina microcarpa	Bear Grass	2' x 2'
	Opuntia bailaris	Beavertail Prickly Pear	6' x 4'
	Opuntia ficus-indica	Indian Fig	5' x 6'
	Opuntia santa-rita	Purple Prickly Pear / Santa Rita Prick	4' x 6'
	Pachycereus marginatus	Mexican Fencepost	1' x 12'
	Pachycereus schottii f. monstrosus	Totem Pole	3' x 3'
	Pedilanthus macrocarpus	Lady Slipper	3' x 3'
	Yucca baccata	Banana Yucca	4' x 5'
	Yucca elata	Soaptree Yucca	10' x 10'
	Yucca gloriosa	Spanish Dagger	3' x 3'
	Yucca pallida	Paleleaf Yucca	2' x 3'
	Yucca rigida	Blue Yucca	6' x 6'

Ground Covers and Vines:

Ground Covers	Botanical Name	Common Name	Size (H x W)
	Acacia redolens	Desert Carpet	2' x 10'
	Convolvulus cneorum	Bush Morning Glory	2' x 3'
	Convolvulus mauritanicus	Ground Morning Glory	1' x 3'
	Dalea greggii	Trailing Indigo Bush	2' x 6'
	Delosperma cooperi	Purple Trailing Ice Plant	3" x 2'
	Eremophila glabra 'Mingenew Gold'	Outback Sunrise Emu Bush	1' x 6-10'
	Gazania rigens	Trailing Gazania	8" x 1.5'
	Lantana montevidensis	Purple Trailing Lantana	1' x 4'
	Malephora crocea	Gray Ice Plant/Copper Ice Plant	6" x 6'
	Malephora luteola	Yellow Ice Plant	6" x 4'
	Oenothera caespitosa	Tufted Evening Primrose	1' x 2'
	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	2' x 8'
	Rosmarinus officinalis 'Prostratus'	Trailing Rosemary	3' x 6'
	Ruellia brittoniana 'Katie'	Katie Ruellia	1' x 1.5'
	Teucrium chamaedrys 'Prostratum'	Creeping Germander	6" x 3'
	Wedelia trilobata	Yellow Dot	1.5' x 6'
Vines	Botanical Name	Common Name	Size (H x W)
	Antigonon leptopus	Queen's Wreath	15' x 15'
	Bougainvillea spp	Bougainvillea	15' x 15'
	Campsis radicans	Trumpet Creeper	5' x 20'
	Hardenbergia violacea	Australian Lilac Vine	15' x 10'
	Jasminum mesnyi	Primrose Jasmine see also 'Gold Tip'	10' x 6'
	Pandorea jasminoides	Bower Vine	20' x 20'
	Passiflora foetida v. longipedunculata	Baja Passion Vine	10' x 10'
	Passiflora incarnata	Purple Passion Vine	20' x 25'
	Podranea ricasoliana	Pink Trumpet Vine	20' x 10'
	Rosa banksiae	Lady Banks Rose	20' x 15'
	Solanum jasminoides	Climbing Potato Vine	20' x 10'
	Trachelospermum jasminoides	Star Jasmine	6' x 20'

APPENDIX “B”

COMMUNITY CHARTER FOR ALAMAR, EXHIBIT “C”, ADDITIONAL USE RESTRICTIONS